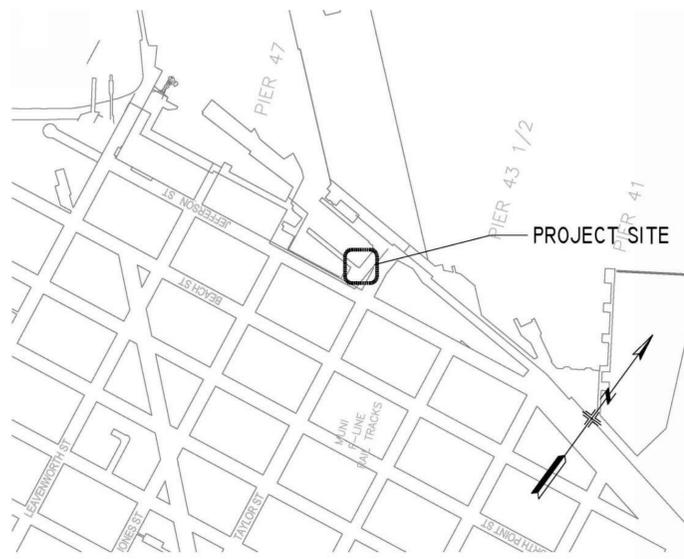


PORT OF SAN FRANCISCO

FISHERMAN'S WHARF FORWARD – TAYLOR ST. PUBLIC PLAZA (PACKAGE B)

SAN FRANCISCO, CALIFORNIA

PROJECT LOCATION



PROJECT TEAM

OWNER
SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
PIER 1, SAN FRANCISCO, CA 94111
PHONE: 415-274-057
PORT PROJECT MANAGER: CHRISTOPHER HORIUCHI

STRUCTURAL
RJSJ
582 MARKET ST #1901
SAN FRANCISCO, CA 94104
PHONE: 415-656-8422

ARCHITECT / CIVIL
ARCADIS
100 MONTGOMERY ST #300
SAN FRANCISCO, CA 94104
PHONE: 415-374-2744

MECHANICAL / PLUMBING
SJE
233 SANSOME ST #300
SAN FRANCISCO, CA 94104
PHONE: 415-837-1500

ELECTRICAL
FW ASSOCIATES
68 12TH ST #300
SAN FRANCISCO, CA 94103
PHONE: 415-861-0296

DEFERRED SUBMITTALS

FIRE PROTECTION
FIRE ALARM
FISHERMEN'S GROTTO IMPROVEMENTS ("ALTERNATE" IN PLANS)

ABBREVIATIONS

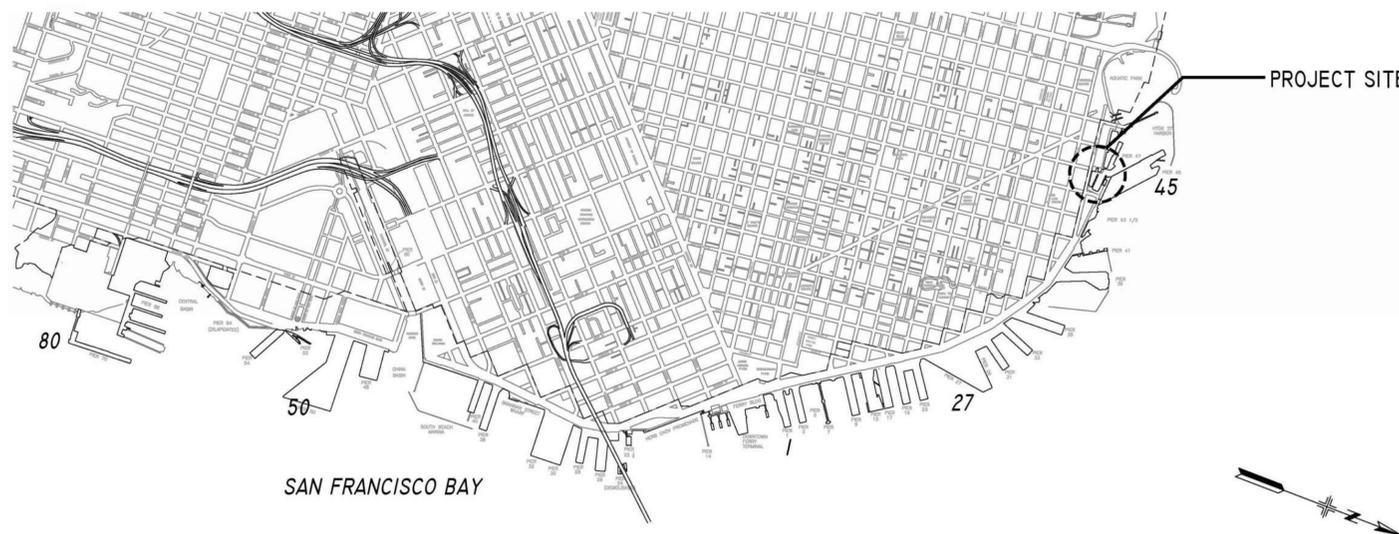
Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like ASPHALT CONCRETE, APPROXIMATE, ARCHITECTURAL, etc.

INDEX OF DRAWINGS

SHEET INDEX - PACKAGE B

Table with 3 columns: NO., SHEET NAME, DRAWING NO. Lists drawing titles like COVER SHEET, CALGREEN & ACCESSIBILITY, etc.

VICINITY MAP



SCOPE OF WORK

THE BASE SCOPE FOR THIS PROJECT IS TO REPLACE THE SITE OF THE FORMER ALIOTO'S BUILDING WITH A PUBLIC PLAZA. ALIOTO'S DEMOLITION IS UNDER A SEPARATE CONTRACT (NO. 2893). THESE DOCUMENTS ALSO SHOW THE DESIGN INTENT FOR A "MAKE READY" PACKAGE AT THE ADJACENT VACANT FISHERMAN'S GROTTO BUILDING, WHICH IS NOTED AS AN ALTERNATE.

THE BASE SCOPE FOR THIS CONTRACT INCLUDES REPAIRS AND REPLACEMENT IN KIND FOR THE SUB-WHARF FIRE PROTECTION SYSTEM BENEATH ALIOTO'S, INCLUDING REPAIRS TO THE EXISTING FIRE DRAFT STOPS. THE BASE SCOPE INCLUDES THE PARTIAL DEMOLITION OF ELECTRICAL AND PLUMBING LINES BELOW THE WHARF AND SELECTIVE DEMOLITION OF THE CONCRETE SLAB OVER THE WHARF. THE BASE SCOPE ALSO INCLUDES POURING A NEW SLAB THAT WILL ACT AS THE SURFACE FOR THE TAYLOR ST. PUBLIC PLAZA PROJECT. PLAZA ART, WAYFINDING, AND FURNISHINGS WILL BE UNDER A SEPARATE PACKAGE.

THE ALTERNATE IS TO "MAKE READY" THE SOUTHERN PORTION OF FISHERMAN'S GROTTO FOR A FUTURE TENANT. THE ALTERNATE INCLUDES MINOR EXTERIOR REGRADING TO INTEGRATE FISHERMAN'S GROTTO WITH THE NEW PLAZA. THE ALTERNATE SCOPE INCLUDES REPLACING BROKEN WINDOWS, REPLACING EXISTING EXTERIOR DOORS, SOME INTERIOR PARTITION DEMOLITION AND NEW CONSTRUCTION, REPLACEMENT OF THE FLOOR FINISH IN THE BOH SPACE AND GUEST AREA.

Table of Revisions with columns: NO., DATE, DESCRIPTION, BY, APP. Includes revision 100% INTERDIVISIONAL REVIEW REV #1.

CONSULTANT: ARCADIS logo and name.

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

Licensed Architect seal for Charles Yancey Clayton, C-35502.

DESIGNED: DATE:
DRAWN: DATE:
CHECKED: DATE:
APPROVED BY: SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025
Signed by: [Signature]
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD – TAYLOR ST. PUBLIC PLAZA (PACKAGE B)
COVER SHEET

CONTRACT NO. 2894
DRAWING NO. 23970-49-G
SHEET NO. G.000-B OF

Port of San Francisco - Green Building Form

Revised January 27, 2022

INSTRUCTIONS: 1) Select one (1) column from Project Type... 2) For each requirement in the column, indicate evidence of fulfillment in the References column... 3) Complete the project information in the Verification box at the right... 4) Attach LEED Scorecard on separate, subsequent sheet... 5) Submittal must be a minimum of 24" x 36".

LEED	TITLE	SOURCE OF REQUIREMENT	LEED v4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES	DRAWING or SPECIFICATION # (If not applicable, indicate "N/A")	FACILITY CODE # (If not applicable, indicate "N/A")	ADDRESS AND/OR BUILDING GROSS FLOOR AREA	LEED PROJECTS Complete this section if project is to be LEED Certified.
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS					
LEED	REQUIRED LEED CERTIFICATION LEVEL	Port GBC sec. 4.103; 5.103;		Project is required to achieve sustainability certification listed at the right. If a waiver is granted by the Port, then enter the waiver number here: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
	LEED PY ADJUSTMENT for RETENTION/DESTRUCTION of HISTORIC FEATURES/ BUILDING	Port GBC sec. 5.104;		Enter any applicable point adjustments in box at right.			n/r					
	LEED PFS SHOWN ON CURRENT SCORECARD	Port GBC sec. 4.103; 5.103		Enter current expected LEED score in box at right.			n/r					
MATERIALS	LOW-EMITTING MATERIALS	Port GBC sec. 4.103; 5.103 OR CAL Green 5.504.4.1-6	EQ2	>10,000 sq.ft. - use products that comply w/ LEED emissions and content requirements for paints, coatings, adhesives, sealants, flooring, composite wood, ceiling/wall/thermal/acoustic insulation, furniture, and exterior applied products if healthcare or school project. <10,000 sq.ft. - use products that comply w/ LEED emissions limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
	PVC ELIMINATION	ENV Code - sec. 509		Specify no materials containing PVC. Exception when non-chlorinated products are not available.								
	LEAD ELIMINATION	ENV Code sec. 711		Specify no materials containing lead.								
	TROPICAL HARDWOOD & VIRGIN REDWOOD BAN	ENV Code Ch.8		Specify no tropical hardwoods or virgin redwoods.								
WATER	INDOOR WATER USE REDUCTION	Port GBC sec. 5.103; OR CAL Green 5.303.3	WE2 WE2C	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpm); food waste disposers (1gpm/8gpm). Additionally, for projects >10,000 sq.ft., use minimum 30% less potable water as calculated using a baseline with toilets (1.6gpf); urinals (1.0gpf); showerheads (2.5gpm); lavatories (2.2gpm private, 0.5gpm public); kitchen faucets (2.2gpm).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
	NON-POTABLE REUSE	Health Code art. 12C	WE2	New buildings >40,000 sq.ft. must calculate a water budget. New buildings >250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage for toilet and urinal flushing and irrigation.			n/r					
	WATER EFFICIENT IRRIGATION	Admin Code Ch. 63	WE1	New construction projects with aggregated landscape area >500 sq.ft., or existing projects with modified landscape area >1,000 sq.ft., shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF <= 45 or by prescriptive compliance for projects with <= 2,500 sq.ft. of landscape area.								
	WATER METERING	CAL Green 5.303.1	WE4	For area of project, provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).								

Professional Discipline for Review of Submittal: AR = Architecture, BP = Building Permit Desk, CE = Civil, EL = Electrical, EN = Environmental, MP = Mechanical/Plumbing, PL = Planning

Project Manager: Kevin Clinch, 2025/09/19

Port of San Francisco Green Building Submittal Form

Revised January 27, 2022

INSTRUCTIONS: CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT

WASTE DIVISION	TITLE	SOURCE OF REQUIREMENT	LEED v4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS	
WASTE DIVISION	RECYCLING BY OCCUPANTS	ENV Code - sec. 707	MRp1	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FUTURE PACKAGE
	C&D WASTE MANAGEMENT	Port GBC 4.103.2.3; 5.103.1.3.1 OR ENV Code sec. 706; 708, & Ch. 14	MRp2 MRp5	Divert a minimum of 75% of total C&D debris including at least 4 material streams. For 100% of mixed C&D debris use registered transporters and registered processing facilities. Permit is issued with plan and closed with final report.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
HVAC	REFRIGERANT MANAGEMENT	Port GBC 5.103.1.10 CAL Green 5.508.1	EAp4	Use no halons or CFCs in HVAC.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
GROSS REDUCTION	LIGHT POLLUTION REDUCTION	Port GBC 5.103.1.10 CAL Green 5.106.8	SS6	Comply with 5.106.8 for Backlight/Uplight/Glare. Also comply with CA Energy Code for Lighting Zones 1-4. (Not applicable to residential buildings).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	BIRD-SAFE BUILDINGS	Planning Code sec. 139	Pilot Credit	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
POLLUTION PREVENTION	TOBACCO SMOKE CONTROL	Health Code - Art. 19/191 CAL Green 5.504.7	Eq2	Prohibit smoking within 25 feet of building entries, air intakes, and operable windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	STORMWATER CONTROL PLAN	Public Works Code Article 4.2 sec.147 Port Building Code 106A.3.2.4	SS4	Projects disturbing >5,000 sq.ft. in combined or separate sewer areas, or replacing >2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan or otherwise meet Port Stormwater Management Requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
WASTE REDUCTION / ENVIRONMENTAL QUALITY	CONSTRUCTION SITE RUNOFF	Public Works Code Article 4.2 sec.146	SSp1	Projects disturbing >5,000 sq.ft. in combined or separate sewer areas, submit a construction site Erosion and Sediment Control Plan to Port for approval.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	ACoustical CONTROLS	CAL Green 5.507.4	IEQ9	Comply with sound transmission limits (STC-50 exterior near freeways/airports; STC-45 exterior if 65db in eq at any time; STC-40 interior walls/floor-ceiling between tenants).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	AIR FILTRATION (CONSTRUCTION)	Port GBC 5.103.1.8 CAL Green 5.504.1.3	IEQ3	Seal permanent HVAC ducts/equipment stored onsite before installation.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	AIR FILTRATION (OPERATIONS)	CAL Green 5.504.5.3	IEQ1	Provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
WASTE REDUCTION / ENVIRONMENTAL QUALITY	ENHANCED IAQ STRATEGIES	ENV Code - sec. 706**	IEQ1	Comply with entry, cross-contamination, filtration, natural ventilation, mixed-mode requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	CONSTRUCTION IAQ MANAGEMENT PLAN	ENV Code - sec. 706**	IEQ3	During construction, test SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
	IAQ ASSESSMENT	ENV Code - sec. 706**	IEQ4	Before occupancy, test air quality for particulates, ozone, CO and all listed VOCs.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A

Professional Discipline for Review of Submittal: AR = Architecture, BP = Building Permit Desk, CE = Civil, EL = Electrical, EN = Environmental, MP = Mechanical/Plumbing, PL = Planning

Project Manager: Kevin Clinch, 2025/09/19

Port of San Francisco Green Building Submittal Form

Revised January 27, 2022

ENERGY	TITLE	SOURCE OF REQUIREMENT	LEED v4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES	VERIFICATION
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS		
ENERGY	ENERGY EFFICIENCY	CA Energy Code	EAp2 EA2	Comply with all provisions of the CA Energy Code. For projects >10,000 sq.ft., produce a whole-building energy simulation, or follow ASHRAE 50% Advanced Design Guide, or follow Advanced Building Core Performance Guide. Achieve energy use below established baseline by 5% for New Construction, 3% for Major Renovations, 2% for Core & Shell, 2% for Commercial Interiors. Commercial Interiors alternate compliance - reduce lighting power density by 5% below ASHRAE 90.1-2010 and install ENERGY STAR equipment for 50% of all eligible ENERGY STAR equipment.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Green Building Compliance Professional of Record for Non-LEED Projects. I have been retained by the project sponsor to review all submittal documents and verify that all approved construction documents and construction fulfill the requirements of the Port Green Building Code. It is my professional opinion that the requirements of the Port Green Building Code will be met. I will notify the SF Port Building office if the project will for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project or if I am otherwise no longer responsible for assuring the compliance of the project with the Port Green Building Code.
	ENERGY TARGET	ENV Code - sec. 706**	EA2	Set target for annual energy consumption. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.			n/r		Recommended, not required
	ZERO NET ENERGY FEASIBILITY	ENV Code - sec. 706**	EA2	Determine feasibility to achieve Zero Net Energy (E3 stories). Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.			n/r		Recommended, not required
	PH-ENERGY STORAGE BENEFIT/COST ANALYSIS	ENV Code - sec. 706**	EA5	Analyze benefits and costs of solar plus battery storage capable of supplying electrical systems essential to serve the community in event of disaster. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.			n/r		Recommended, not required
	BETTER ROOFS	Port GBC sec. 4.201.2; 5.201.1.2 Planning Code sec. 149	EA2 or various	New buildings with >10 floors must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFUPUC Stormwater Requirements may substitute living roof for solar energy systems.			n/r		EL AR MP
RENEWABLE ENERGY	RENEWABLE ENERGY	Port GBC 4.201.1.3; 5.201.1.3	EA5	New buildings >11 floors must acquire renewable onsite energy or achieve 5 points under LEED credit Optimize Energy Performance (EA2).			n/r		EL AR MP
	COMMISSIONING (C)	Port GBC 5.103.1.4 CAL Green 5.410.2-5.410.4.5.1	EAp1 EA1	For projects >10,000 sq.ft., comply with LEED Cx requirements - OPR, BOD, systems testing, operations manual, and Enhanced and Monitoring-Based Commissioning. For projects <10,000 sq.ft. and all new equipment in alterations & additions, comply with 5.410.2-5.410.4.5.1 - test and adjust all equipment.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		MP AR EL
PARKING	BICYCLE PARKING	Planning Code sec.155.1-3 CAL Green 5.106.4	LT6	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-3, whichever is greater.				5.106.4	PL AR CE
	DESIGNATED PARKING	CAL Green 5.106.5.2	LT7	Designated parking for clean air vehicles. Enter current expected LEED score in box at right.					MP, PL, PL
PARKING	WIRING FOR EV CHARGING	Port GBC 5.106.5.3	LT8	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles/trucks with dimensions capable of installing EVSE (Port GBC 5.106.5.3). Install service capacity and panelboards sufficient to provide >40A 208 or 240V to EV chargers at 20% of spaces. Install >40A 208 or 240V branch circuits to >10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. Permit applications prior to January 2018: Install electrical systems to provide electricity for EV chargers at 6% of spaces per CAL Green 5.106.5.3.			n/r		EL AR PL

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Project Manager: Kevin Clinch, 2025/09/19

PORT OF SAN FRANCISCO BUILDING PERMIT SERVICES HOURS: M-F, 8:30AM-11:30AM PHONE: (415) 274-0554 Pier 1, The Embarcadero San Francisco, CA 94111

D.A. CHECKLIST (p. 1 of 2): The FIN/address of the project is: _____

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

1. The proposed use of the project is Public Plaza (e.g. Retail, Office, Restaurant, etc.)

2. Describe the area of remodel, including which floor: 5,751 SF, all at grade

3. The construction cost of this project excluding disabled access upgrades to the path of travel is \$ 203,611.00, which is: (check one) more than / less than the 2025 Valuation Threshold \$ _____

4. Is this a Port project and/or does it receive any form of public funding? Check one: Yes / No. Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist for additional forms required.

5. Read A through E below carefully and check the most applicable box. Check one box only:

A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required. Fill out page 2 of D.A. Checklist

B: Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans

C: Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.

D: Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans

E: Proposed project is minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The nature of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities.

The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the PORT. All Unreasonable Hardships shall be ratified by the Access Appeals Commission

PORT OF SAN FRANCISCO BUILDING PERMIT SERVICES HOURS: M-F, 8:30AM-11:30AM PHONE: (415) 274-0554 Pier 1, The Embarcadero San Francisco, CA 94111

D.A. CHECKLIST (p. 2 of 2): The FIN/address of the project is: _____

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Upgraded to Full Compliance	Equivalent Facilitation will provide full access	Compliance is Technically Infeasible	Approved in compliance with immediately preceding code	Not required by Code (under future reworking)	Not required by Code (under future reworking) Must be ratified by AAC	Location of detail(s) include detail no. & drawing sheet (do not leave this part blank). Also identification comments can be written here.
A. One accessible entrance including: approach walk, vertical access, platform (landings), door/gate and hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps; Curb ramps and walks; Corridors, hallways, floors; Ramps/elevators, lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C. At least one accessible restroom for each sex or a single unisex restroom, serving the area of remodel.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
D. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

See the requirements for additional forms listed below

- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of Port-approved reference drawings, provide its permit application number here: _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

PORT OF SAN FRANCISCO BUILDING PERMIT SERVICES HOURS: M-F, 8:30AM-11:30AM PHONE: (415) 274-0554 Pier 1, The Embarcadero San Francisco, CA 94111

Form C: DISABLED ACCESS 20% RULE

This form is only required for projects equal to or under the valuation threshold when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form, on the plans, along with the D.A. Checklist and any required forms.

Based on CBC Section 11B-202.4 Exception 8, only projects with a construction cost less than or equal to the valuation threshold (current ENR Construction Cost Index Amount) are eligible for the 20% rule. In choosing which elements to provide, priority should be as listed on p. 2 of the D.A. Checklist.

In general, projects valued over the threshold are not eligible for the 20% rule (see CBC 11B-202.4 Exceptions 1 through 8 for other exceptions).

CBC Section 11B-202.4, Exception 9 (abbreviated): In alteration projects involving buildings & facilities previously approved & built without elevators, areas above & below the ground floor are subject to the 20% disproportionality provisions described in Exception 8, even if the project exceeds the valuation threshold in Exception 8. Refer to the Code for the types of buildings & facilities that qualify for this 20% disproportionality provision when project valuation is over the threshold.

	Contractor's Estimated Cost	Revised Cost
A) Cost of Construction: (Excluding Alterations to the Path of Travel as required by 11B-202.4)	\$ _____	\$ _____
B) 20% of A):	\$ _____	\$ _____

List the Upgrade Expenditures and their respective construction cost below:

1.	\$ _____	\$ _____
2.	\$ _____	\$ _____
3.	\$ _____	\$ _____
4.	\$ _____	\$ _____
5.	\$ _____	\$ _____
6.	\$ _____	\$ _____
7.	\$ _____	\$ _____
8.	\$ _____	\$ _____
9.	\$ _____	\$ _____
10.	\$ _____	\$ _____
11.	\$ _____	\$ _____
12.	\$ _____	\$ _____

Total Upgrade Expenditures (Should be approximately equal to, but not to exceed, Line B)

\$ _____

NO.	DATE	DESCRIPTION	BY	APP.
	10/01/2025	100% INTERDIVISIONAL REVIEW REV #1		
	09/19/2025	100% INTERDIVISIONAL REVIEW		
	08/22/2025	65% INTERDIVISIONAL REVIEW		
	06/27/2025	10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

DESIGNED: DATE: _____

DRAWN: DATE: _____

CHECKED: DATE: _____

APPROVED BY
SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

Signed by:

ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

CALGREEN & ACCESSIBILITY

CONTRACT NO. 2894

DRAWING NO. 23971-49-G

SHEET NO. G.101-B

OF

Port of San Francisco - Green Building Form

Revised January 27, 2022

INSTRUCTIONS:
 1) Select one (1) column from Project Type
 2) For each requirement in the column, indicate evidence of fulfillment in the References column.
 3) Complete the project information in the Verification box at the right.
 4) Attach LEED Scorecard on separate, subsequent sheet.
 5) Submittal must be a minimum of 24" x 36".

LEED	TITLE	SOURCE OF REQUIREMENT	LEED v.4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS	
LEED	REQUIRED LEED CERTIFICATION LEVEL	Port GBC sec. 4.103; 5.103;		Project is required to achieve sustainability certification listed at the right. If a waiver is granted by the Port, then enter the waiver number here: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	DRAWING or SPECIFICATION # (If not applicable, indicate "N/A")
	LEED PY ADJUSTMENT for RETENTION/DESTRUCTION of HISTORIC FEATURES/ BUILDING	Port GBC sec. 5.104;		Enter any applicable point adjustments in box at right.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	LEED PFS SHOWN ON CURRENT SCORECARD	Port GBC sec. 4.103; 5.103		Enter current expected LEED score in box at right.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
MATERIALS	LOW-EMITTING MATERIALS	Port GBC sec. 4.103; 5.103 OR CAL Green 5.504.4.1-6	EQ2	>10,000 sq.ft. - use products that comply w/ LEED emissions and content requirements for paints, coatings, adhesives, sealants, flooring, composite wood, ceiling/wall/thermal/acoustic insulation, furniture, and exterior applied products if healthcare or school project. <10,000 sq.ft. - use products that comply w/ LEED emissions limit requirements of 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	PVC ELIMINATION	ENV Code - sec. 509		Specify no materials containing PVC. Exception when non-chlorinated products are not available.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	TROPICAL HARDWOOD & VIRGIN REDWOOD BAN	ENV Code sec. 711		Specify no materials containing lead.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WATER	INDOOR WATER USE REDUCTION	Port GBC sec. 5.103; OR CAL Green 5.303.3	WE2 WE2C	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Additionally, for projects >10,000 sq.ft., use minimum 30% less potable water as calculated using a baseline with toilets (1.6gpf); urinals (1.0gpf); showerheads (2.5gpm); lavatories (2.2gpm private, 0.5gpm public); kitchen faucets (2.2gpm).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	NON-POTABLE REUSE	Health Code art. 12C	WE2	New buildings >40,000 sq.ft. must calculate a water budget. New buildings >250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage for toilet and urinal flushing and irrigation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	WATER EFFICIENT IRRIGATION	Admin Code Ch. 63	WE1 WE1C	New construction projects with aggregated landscape area >500 sq.ft., or existing projects with modified landscape area >1,000 sq.ft., shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF <= 45 or by prescriptive compliance for projects with <2,500 sq.ft. of landscape area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	WATER METERING	CAL Green 5.303.1	WE4	For area of project, provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Professional Discipline for Review of Submittal
 AR = Architecture BP = Building Permit Desk CE = Civil EL = Electrical
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2025/10/01

Port of San Francisco Green Building Submittal Form

Revised January 27, 2022

INSTRUCTIONS:
 CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT

WASTE DIVISION	TITLE	SOURCE OF REQUIREMENT	LEED v.4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS	
WASTE DIVISION	RECYCLING BY OCCUPANTS	ENV Code - sec. 707	MRp1	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	FUTURE PACKAGE
	C&D WASTE MANAGEMENT	Port GBC 4.103.2.3; 5.103.1.3.1 OR ENV Code sec. 706; 708. & Ch. 14	MRp2 MRp5	Divert a minimum of 75% of total C&D debris including at least 4 material streams. For 100% of mixed C&D debris use registered transporters and registered processing facilities. Permit is issued with plan and closed with final report.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
HVAC	REFRIGERANT MANAGEMENT	Port GBC 5.103.1.10 CAL Green 5.508.1	EAp4	Use no halons or CFCs in HVAC.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N/A
GLASS REDUCTION	LIGHT POLLUTION REDUCTION	Port GBC 5.103.1.10 CAL Green 5.106.8	SS6	Comply with 5.106.8 for Backlight/Uplight/Glare. Also comply with CA Energy Code for Lighting Zones 1-4. (Not applicable to residential buildings).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	BIRD-SAFE BUILDINGS	Planning Code sec. 139	Pilot Credit	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	TOBACCO SMOKE CONTROL	Health Code - Art. 19/191 CAL Green 5.504.7	Eq2	Prohibit smoking within 25 feet of building entries, air intakes, and operable windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WATER PREVENTION	STORMWATER CONTROL PLAN	Public Works Code Article 4.2 sec.147 Port Building Code 106A.3.2.4	SS4	Projects disturbing >5,000 sq.ft. in combined or separate sewer areas, or replacing >2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan or otherwise meet Port Stormwater Management Requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	CONSTRUCTION SITE RUNOFF	Public Works Code Article 4.2 sec.146	SSp1	Projects disturbing >5,000 sq.ft. in combined or separate sewer areas, submit a construction site Erosion and Sediment Control Plan to Port for approval.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WATER QUALITY	ACoustical CONTROLS	CAL Green 5.507.4	IEQ.9	Comply with sound transmission limits (STC-50 exterior near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceiling between tenants).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	AIR FILTRATION (CONSTRUCTION)	Port GBC 5.103.1.8 CAL Green 5.504.1.3	IEQ.3	Seal permanent HVAC ducts/equipment stored onsite before installation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	AIR FILTRATION (OPERATIONS)	CAL Green 5.504.5.3	IEQ.1	Provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	ENHANCED IAQ STRATEGIES	ENV Code - sec. 706**	IEQ.1	Comply with entry, cross-contamination, filtration, natural ventilation, mixed-mode requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	CONSTRUCTION IAQ MANAGEMENT PLAN	ENV Code - sec. 706**	IEQ.3	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	IAQ ASSESSMENT	ENV Code - sec. 706**	IEQ.4	Before occupancy, test air quality for particulates, ozone, CO and all listed VOCs.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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Port of San Francisco Green Building Submittal Form

Revised January 27, 2022

ENERGY	TITLE	SOURCE OF REQUIREMENT	LEED v.4 Credit	DESCRIPTION OF REQUIREMENT	PROJECT TYPE			REFERENCES
					NEW CONSTRUCTION / MAJOR ALTERATION	COMMERCIAL INTERIOR	SMALL PROJECTS	
ENERGY	ENERGY EFFICIENCY	CA Energy Code	EAp2 EA2	Comply with all provisions of the CA Energy Code. For projects >10,000 sq.ft., produce a whole-building energy simulation, or follow ASHRAE 50% Advanced Design Guide, or follow Advanced Building Core Performance Guide. Achieve energy use below established baseline by 5% for New Construction, 3% for Major Renovations, 2% for Core & Shell, 2% for Commercial Interiors. Commercial Interiors alternate compliance - reduce lighting power density by 5% below ASHRAE 90.1-2010 and install ENERGY STAR equipment for 50% of all eligible ENERGY STAR equipment.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	ENERGY TARGET	ENV Code - sec. 706**	EA2	Set target for annual energy consumption. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	ZERO NET ENERGY FEASIBILITY	ENV Code - sec. 706**	EA2	Determine feasibility to achieve Zero Net Energy (E3 stories). Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	PH-ENERGY STORAGE BENEFIT/COST ANALYSIS	ENV Code - sec. 706**	EA5	Analyze benefits and costs of solar plus battery storage capable of supplying electrical systems essential to serve the community in event of disaster. Reporting required to Municipal Green Building Task Force. See Environment Regulations for guidance, tools and methods.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	BETTER ROOFS	Port GBC sec. 4.201.2; 5.201.1.2 Planning Code sec. 149	EA2 or various	New buildings with >10 floors must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUIC Stormwater Requirements may substitute living roof for solar energy systems.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	RENEWABLE ENERGY	Port GBC 4.201.1.3; 5.201.1.3	EA5	New buildings >11 floors must acquire renewable onsite energy or achieve 5 points under LEED credit Optimize Energy Performance (EA2).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	COMMISSIONING (C)	Port GBC 5.103.1.4 CAL Green 5.410.2-5.410.4.5.1	EAp1 EA1	For projects >10,000 sq.ft., comply with LEED Cx requirements - OPR, BOD, systems testing, operations manual, and Enhanced and Monitoring-Based Commissioning. For projects <10,000 sq.ft. and all new equipment in alterations & additions, comply with 5.410.2-5.410.4.5.1 - test and adjust all equipment.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
PARKING	BICYCLE PARKING	Planning Code sec.155.1-3 CAL Green 5.106.4	LT6	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-3, whichever is greater.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	DESIGNATED PARKING	CAL Green 5.106.5.2	LT-7	Designated parking for clean air vehicles. Enter current expected LEED score in box at right.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	WIRING FOR EV CHARGING	Port GBC 5.106.5.3	LT8	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles/trucks with dimensions capable of installing EVSE (Port GBC 5.106.5.3). Install service capacity and panelboards sufficient to provide >40A 208 or 240V to EV chargers at 20% of spaces. Install >40A 208 or 240V branch circuits to >10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. Permit applications prior to January 2018: Install electrical systems to provide electricity for EV chargers at 6% of spaces per CAL Green 5.106.5.3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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2025/10/01

PORT OF SAN FRANCISCO BUILDING PERMIT SERVICES
 HOURS: M-F, 8:30AM-11:30AM
 PHONE: (415) 274-0554
 Pier 1, The Embarcadero San Francisco, CA 94111

D.A. CHECKLIST (p. 1 of 2): The FIN/address of the project is: _____

D.A. CHECKLIST (p. 2 of 2): The FIN/address of the project is: _____

D.A. CHECKLIST (p. 1 of 2): The FIN/address of the project is: _____

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is Make Ready for future Cafe (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: 5,751 SF, all at grade
- The construction cost of this project excluding disabled access upgrades to the path of travel is \$ 203,611.00, which is: (check one) more than / less than the 2025 Valuation Threshold
- Is this a Port project and/or does it receive any form of public funding? Check one: Yes / No. If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist for additional forms required.

Conditions below must be fully documented by accompanying drawings

- Read A through E below carefully and check the most applicable box. Check one box only:
 - A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required. Fill out page 2 of D.A. Checklist
 - B: Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
 - C: Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
 - D: Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans
 - E: Proposed project is minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The nature of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities.

The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the PORT. All Unreasonable Hardships shall be ratified by the Access Appeals Commission

D.A. CHECKLIST (p. 2 of 2): The FIN/address of the project is: _____

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Upgraded to Full Compliance	Equivalent Facilitation will provide full access	Compliance is Technically Infeasible	Approved in compliance with immediately preceding code	Not required by Code (under future re-evaluation)	Not required by Code (under future re-evaluation) Must be ratified by AAC	Location of detail(s) - include detail no. & drawing sheet (do not leave this part blank). Also identification comments can be written here.
A. One accessible entrance including: approach walk, vertical access, platform (landings), door/gate and hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps; Curb ramps and walks; Corridors, hallways, floors; Ramps/elevators, lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C. At least one accessible restroom for each sex or a single unisex restroom, serving the area of remodel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

See the requirements for additional forms listed below

- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plans.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of Port-approved reference drawings, provide its permit application number here: _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

PORT OF SAN FRANCISCO BUILDING PERMIT SERVICES
 HOURS: M-F, 8:30AM-11:30AM
 PHONE: (415) 274-0554
 Pier 1, The Embarcadero San Francisco, CA 94111

Form C: DISABLED ACCESS 20% RULE

This form is only required for projects equal to or under the valuation threshold when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form, on the plans, along with the D.A. Checklist and any required forms.

Based on CBC Section 11B-202.4 Exception 8, only projects with a construction cost less than or equal to the valuation threshold (current ENR Construction Cost Index Amount) are eligible for the 20% rule. In choosing which elements to provide, priority should be as listed on p. 2 of the D.A. Checklist.

In general, projects valued over the threshold are not eligible for the 20% rule (see CBC 11B-202.4 Exceptions 1 through 8 for other exceptions).

CBC Section 11B-202.4, Exception 9 (abbreviated): In alteration projects involving buildings & facilities previously approved & built without elevators, areas above & below the ground floor are subject to the 20% disproportionality provisions described in Exception 8, even if the value of the project exceeds the valuation threshold in Exception 8. Refer to the Code for the types of buildings & facilities that qualify for this 20% disproportionality provision when project valuation is over the threshold.

	Contractor's Estimated Cost	Revised Cost
A) Cost of Construction: (Excluding Alterations to the Path of Travel as required by 11B-202.4)	\$ _____	\$ _____
B) 20% of A):	\$ _____	\$ _____

List the Upgrade Expenditures and their respective construction cost below:

1.	\$ _____	\$ _____
2.	\$ _____	\$ _____
3.	\$ _____	\$ _____
4.	\$ _____	\$ _____
5.	\$ _____	\$ _____
6.	\$ _____	\$ _____
7.	\$ _____	\$ _____
8.	\$ _____	\$ _____
9.	\$ _____	\$ _____
10.	\$ _____	\$ _____
11.	\$ _____	\$ _____
12.	\$ _____	\$ _____

Total Upgrade Expenditures (Should be approximately equal to, but not to exceed, Line B)

\$ _____

NO.	DATE	DESCRIPTION	BY	APP.
	10/01/2025	100% INTERDIVISIONAL REVIEW REV #1		
	09/19/2025	100% INTERDIVISIONAL REVIEW		
	08/22/2025	65% INTERDIVISIONAL REVIEW		
	06/27/2025	10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
 CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

ARCADIS

SAN FRANCISCO PORT COMMISSION
 PORT OF SAN FRANCISCO
 DEPARTMENT OF ENGINEERING

LICENSED ARCHITECT
 CHARLES YANCEY CLAYTON
 C-35502
 8/31/27 RENEWAL 2027
 STATE OF CALIFORNIA

DESIGNED: DATE: 10/9/2025
 APPROVED BY: SAN FRANCISCO PORT COMMISSION
 DATE: 10/9/2025
 DRAWN: DATE: _____
 CHECKED: DATE: _____

Signed by: *Matthew*
 ACTING CHIEF HARBOR ENGINEER
 APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

CALGREEN & ACCESSIBILITY - ALTERNATE

CONTRACT NO. 2894
 DRAWING NO. 23972-49-G
 SHEET NO. G.102-B
 OF

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
49 South Van Ness Ave, 5th Floor, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 12 September 2025 [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2894

Property Address: 8 Fisherman's Wharf, San Francisco, CA 94133

Block and Lot: ___ / ___ Occupancy Group: A-5 Type of Construction: ___ No. of Stories: ___

Describe Use of Building Taylor Street Public Plaza

Under the authority of the San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the San Francisco Mechanical Code, Section 302.2; the San Francisco Electrical Code, Section 89.117; and the San Francisco Plumbing Code, Section 301.3, the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

NFPA 307 2021 Edition Section 4.3.3.5. Firestops shall have a fire resistance rating of not less than 1 hour and shall be constructed of 6 in. of reinforced concrete or other materials that are equivalent in stability and resistance to physical damage.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
Print Name: Chris Horiuchi Nathan B. Wittasek
Signature: [Signatures]
Telephone: 415.609.5840 213.271.1932



Proposed Modification or Alternate

To allow the repair and replacement in kind of existing combustible firestop walls in lieu of constructing new one-hour fire resistance rated concrete firestop walls, as required by NFPA 307 §4.3.3.5.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

-Removal of the Alioto's Building lowers the fire hazard above the substructure and, with repair in kind, preserves the required horizontal compartmentation.

-A new, corrosion resistant, dual sided sprinkler system will provide superior active protection at each firestop, exceeding the NFPA 307 baseline.

-The NFPA 307 annex acknowledges combustible firestops when augmented by active protection, and the proposed dual sided sprinklering and enhanced wetting satisfy that intent.

-Comparable port jurisdictions demonstrate that combustible draft stops, when paired with defined spacing and suppression, can meet the code's protective intent where concrete walls are impracticable.

-Reconstructed firestops maintain full compartmentation and reduce hazard compared to the originally approved condition.

-A formal inspection and maintenance program will sustain long term performance of the firestops and suppression system commensurate with NFPA 307 durability and reliability intent.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
Print Name: Chris Horiuchi Nathan B. Wittasek
Signature: [Signatures]
Telephone: 415.609.5840 213.271.1932

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: Approve
[signed off/dated by:]

Plan Reviewer:

Division Manager:

for Director of Bldg. Inspection:

for Fire Marshal:

CONDITIONS OF APPROVAL or OTHER COMMENTS

Closely spaced fire sprinklers shall be hydraulically calculated to discharge 3-gpm/ft of (18-gpm total) at 6-ft on center spacing. This shall be in addition to the discharge from the hydraulically remote area per NFPA 13.



ALTERNATE MEANS AND METHODS REQUEST (NFPA 307 4.3.3.5)

Executive Summary

The existing substructure firestop walls at the Fisherman's Wharf Alioto's Building will be repaired in kind, with unusable components replaced. While NFPA 307 requires substructure firestop walls to achieve a minimum one-hour fire resistance rating, further evaluation confirmed that such construction is not feasible. A conventional concrete wall assembly would require extensive upgrades to the wharf structure, which are not planned as part of this project. The existing firestop walls were previously accepted by the Authority Having Jurisdiction (AHJ) and, with the removal of Alioto's, the overall hazard classification will be reduced. By repairing and replacing the walls in kind, the intended fire compartment separation will continue to be provided.

Request

To allow the repair and replacement in kind of existing combustible firestop walls in lieu of constructing new one-hour fire resistance rated concrete firestop walls, as required by NFPA 307 §4.3.3.5.

Code Requirement

NFPA 307 2021 Edition Section 4.3.3.5. Firestops shall have a fire resistance rating of not less than 1 hour and shall be constructed of 6 in. of reinforced concrete or other materials that are equivalent in stability and resistance to physical damage.

Code Intent

The purpose of requiring one-hour fire resistance rated (FRR) firestops beneath wharf structures is to provide horizontal fire compartmentation between substructure zones. In the event of a fire originating in the under-wharf space (i.e., typically a high-risk, semi-enclosed environment), the firestop serves to slow lateral fire spread, reduce radiant heat exposure to critical structural elements, and preserve evacuation or response time.

NFPA 307 mandates firestops at intervals of 150 ft for piers and wharves, and specifies robust materials such as 6 in. reinforced concrete to resist fire exposure, structural loading, and marine deterioration. The intent is both passive containment (via FRR) and physical durability (to maintain the barrier's performance under harsh, corrosive conditions).

While combustible firestops have historically been permitted with supplementary measures (e.g., dual-sided sprinklering, revolving nozzles), this requires a finding of equivalency by the AHJ. The intent of the code is to ensure resilient and maintainable fire boundaries below combustible wharf structures where full FRR may be structurally infeasible.

Background

The Alioto's Building is to be demolished as part of the Taylor Street Public Plaza project. As part of the project, the team was tasked to assess the existing components to be reused or replaced both above and below the wharf. During site visits, the team discovered the substructure fire suppression system and



AB-005 1 19 SEPTEMBER 2025
TAYLOR ST PUBLIC PLAZA ALTERATION OF SUBSTRUCTURE FIRESTOP WALL CONSTRUCTION

firestop walls were in disrepair and needed maintenance. The fire suppression system will be demolished while the firestop walls required further investigation.

The initial design was to replace the firestop walls with another lightweight one-hour rated assembly construction. SGH investigated potential options and explored the use of a mineral wool insulated fire wall assembly typically used in interior environments. The manufacturers of the mineral wool insulated fire wall assemblies did not believe their product would work as listed in a marine environment. The team then investigated the potential to repair and replace the existing wall in kind. The Port acquired the drawings for the existing wall construction at a portion of the wharf close to the project site. As shown in Figure 1, the walls were intended to be used as a fire separation constructed of a 6 in. combustible material.

While not constructed of concrete or equivalent material resulting in a one-hour fire rating, this wall was still approved for construction at the time of installation. Repairing in kind should provide the same level of protection that was originally provided.

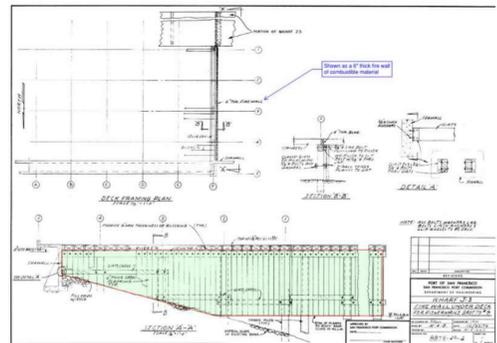


Figure 1 - Existing Drawing of Substructure Firewall



AB-005 1 19 SEPTEMBER 2025
TAYLOR ST PUBLIC PLAZA ALTERATION OF SUBSTRUCTURE FIRESTOP WALL CONSTRUCTION

Justifications

Removal of the Alioto's Building lowers the fire hazard above the substructure and, with repair-in-kind, preserves the required horizontal compartmentation. The change from an enclosed, occupied building to an open-to-sky public plaza eliminates interior fuel loads, cooking and utility sources, and storage over the areas separated by the firestop walls. Open air above the deck also promotes vertical heat and smoke release instead of lateral underdeck spread. The firestop walls will be rebuilt to their original thickness, alignment, and spacing, maintaining the approved compartment grid beneath the wharf. Taken together, the reduced over-deck hazard and preserved substructure zoning fulfill NFPA 307's intent to limit horizontal fire propagation and protect structural elements.

A new, corrosion-resistant, dual-sided sprinkler system will provide superior active protection at each firestop, exceeding the NFPA 307 baseline. The existing suppression piping and heads are beyond salvage and will be fully replaced using materials suitable for the marine environment to improve reliability and service life. Sprinklers will be installed on both sides of every firestop wall, and the branch line nearest the wall will employ reduced spacing to intensify wall wetting and cooling. The sprinklers on both sides of the draft stops shall be spaced 6 ft o.c. and designed to discharge at 3 gpm per foot of protected area or 18 gpm discharge per sprinkler in addition to discharge from the hydraulically remote area. This targeted configuration enhances suppression effectiveness at the plane where lateral fire spread would otherwise occur and goes beyond the minimum measures referenced in NFPA 307 §4.3.3.1.3. By combining material durability with enhanced discharge at the barrier, the system advances the code's life safety objective to arrest fire spread between substructure compartments.

The NFPA 307 annex acknowledges combustible firestops when augmented by active protection, and the proposed dual-sided sprinklering and enhanced wetting satisfy that intent. The annex discussion to §4.3.3.5 recognizes that wood or metal firestops can serve the compartmentation function when protected by automatic sprinklers and operational provisions intended to ensure effective application of water to the barrier. While the current design does not include deck openings for revolving nozzles, it compensates by providing sprinklers on both faces of the firestop with reduced spacing along the firestop line to achieve robust, continuous wetting. This targeted approach delivers the same functional outcome (i.e., cooling and shielding the barrier to impede fire passage) while aligning with AHJ authority to approve equivalency where the code's protective intent is demonstrably met. The result is a combustible firestop assembly that performs as intended under NFPA 307 with modernized, maintainable suppression features.

Comparable port jurisdictions demonstrate that combustible draft stops, when paired with defined spacing and suppression, can meet the code's protective intent where concrete walls are impracticable. The construction of one-hour reinforced concrete firestops under existing wharves is often constrained by access, load paths, and durability concerns. Other coastal jurisdictions have adopted standards that expressly allow combustible draft stops extending to low water at prescribed intervals under active suppression. More specifically the Seattle Building Code Chapter 4 Section 429.5 added such language to their 2021 amendments. These accepted practices reflect the same life safety rationale in NFPA 307: reliable horizontal compartmentation supported by effective water application at the barrier. The proposed



AB-005 1 19 SEPTEMBER 2025
TAYLOR ST PUBLIC PLAZA ALTERATION OF SUBSTRUCTURE FIRESTOP WALL CONSTRUCTION

repair-in-kind, dual-sided sprinklering, and intensified wall wetting are consistent with that proven approach and provide the AHJ a credible path to an equivalency finding while avoiding structural and constructability risks associated with underdeck concrete walls.

Reconstructed firestops maintain full compartmentation and reduce hazard compared to the originally approved condition. With the removal of the Alioto's Building and conversion of the area into an open-to-sky public plaza, the over-deck hazard is substantially reduced. There will no longer be enclosed occupancies or combustible storage directly above the firestop line, lowering ignition potential. Repaired firestop walls will be continuous to the deck soffit and extend toward low water, ensuring that lateral fire spread is contained within each bay. This combination of a reduced fire load above and restored separation below demonstrates clear compliance with the code's intent to contain substructure fires within defined compartments until they can be controlled.

A formal inspection and maintenance program will sustain long-term performance of the firestops and suppression system commensurate with NFPA 307 durability and reliability intent. Site observations revealed corrosion, disconnected piping, and long-term deterioration of the existing systems. These are conditions that will be corrected through full replacement and then actively managed going forward. The Port commits to annual visual surveys of all substructure fire protection components, prompt corrective repairs when degradation is identified, and a documented comprehensive assessment at least every five years. This regimen, paired with corrosion-resistant materials and accessible layouts for service, materially reduces the likelihood of impairment and preserves the effectiveness of both the firestop barriers and the sprinklers over their service life. Sustained reliability directly supports the code's objective to ensure that the compartmentation and suppression strategy will perform when needed.



Table with 4 columns: NO., DATE, DESCRIPTION, BY APP. Includes a 'TABLE OF REVISIONS' section with entries for 10/01/2025, 09/19/2025, 08/22/2025, and 06/27/2025.

CONSULTANT: ARCADIS logo and name.

SAN FRANCISCO PORT COMMISSION PORT OF SAN FRANCISCO DEPARTMENT OF ENGINEERING logo and name.

LICENSED ARCHITECT: CHARLES YANCEY CLAYTON C-35502 logo and name.

DESIGNED: DATE: APPROVED BY: SAN FRANCISCO PORT COMMISSION DATE: 10/9/2025. Includes signature of Acting Chief Harbor Engineer.

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B) CONDITIONS OF APPROVAL

CONTRACT NO. 2894 DRAWING NO. 23973-49-G SHEET NO. G.103-B OF

PROJECT INFORMATION

ADDRESS: 8 FISHERMAN'S WHARF, SAN FRANCISCO, CA 94133

EXISTING BUILDING (REF PERMIT # 5577.11)
 AREA:
 LEVEL 1: 3,241 SF
 LEVEL 2: 4,139 SF
 LEVEL 3: 4,197 SF

TOTAL: 11,584 SF

CONSTRUCTION TYPE: TYPE V-A (1HR)

OCCUPANCY: A-3

SPRINKLERED: YES (PARTIAL)

NEW PLAZA
 AREA: 4,835 SF

OCCUPANCY: A-5

OCCUPANT LOAD: 15

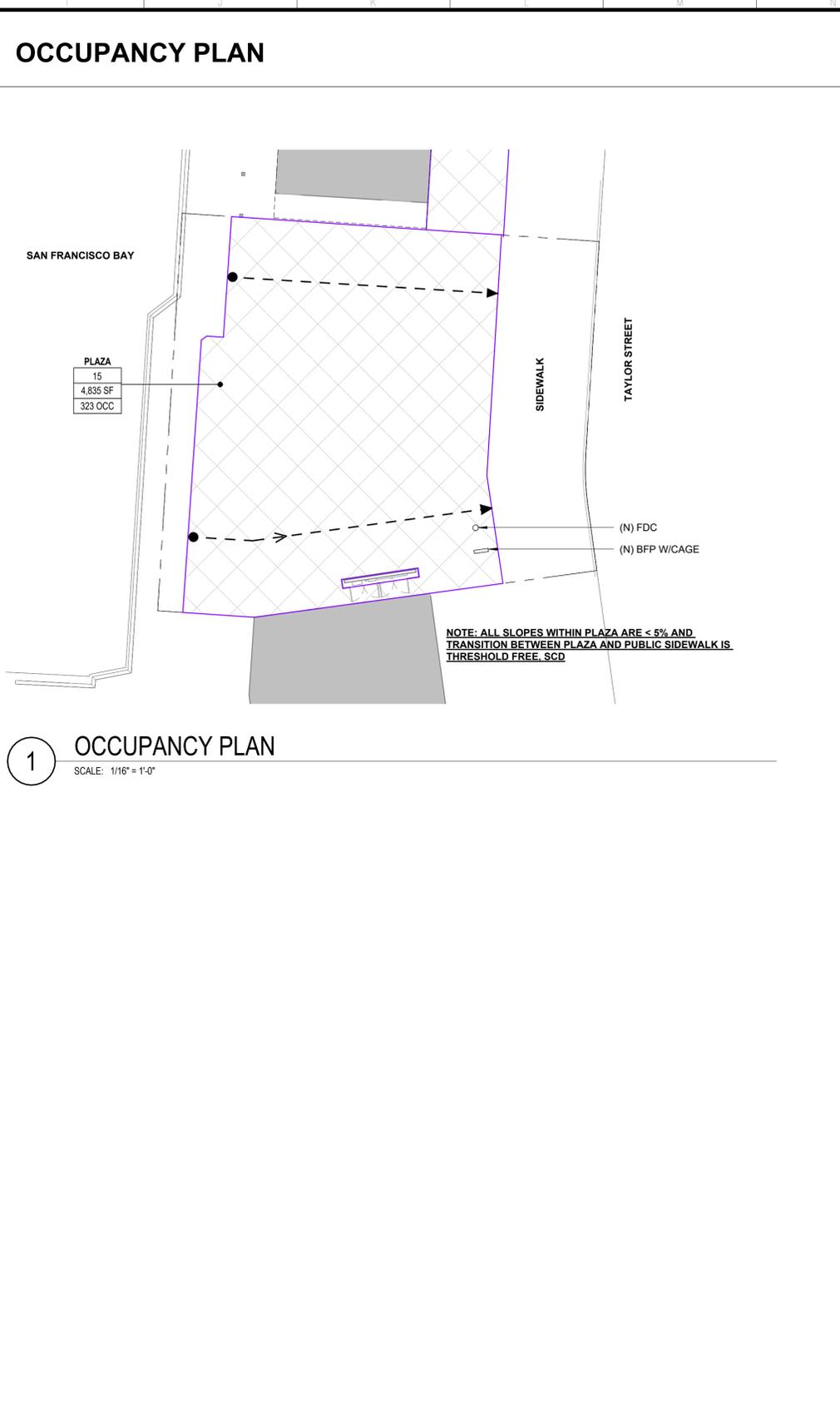
TOTAL NO. OF PROPOSED OCCUPANTS: 323 OCCUPANTS

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
 2022 PORT OF SAN FRANCISCO BUILDING CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 PORT OF SAN FRANCISCO GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 PORT OF SAN FRANCISCO MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 PORT OF SAN FRANCISCO ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 PORT OF SAN FRANCISCO PLUMBING CODE
 2021 NFPA 307
 2022 NFPA 13
 2022 NFPA 72
 2022 SAN FRANCISCO FIRE CODE & ADMINISTRATIVE BULLETINS

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE DOCUMENTS) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION AND AS IDENTIFIED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY HERETO.
2. ALL DRAWINGS SHALL BE USED IN CONCERT WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION FROM THE ARCHITECT. REFER TO THE ARCHITECTURAL AND ENGINEERING DRAWINGS FOR PLACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN IN LARGER SCALE IS INTENDED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
3. NOTATIONS MARKED "TYPICAL" (TYP.) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LIKE OR SIMILAR KIND.
4. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO ORDERING, FABRICATING OR INSTALLING ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY ASSOCIATED WORK.
5. CONTRACTOR SHALL VERIFY, AT THE SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH THE PROVISIONS OF THE SPECIFICATIONS.
6. CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
7. EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND/OR ARCHITECT DO NOT GUARANTEE EXISTING CONDITIONS AS SHOWN ON THESE DOCUMENTS.
8. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
9. MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS THAT ARE DISCOVERED DURING THE PROGRESS OF THE WORK, SHALL BE REPORTED TO THE OWNER IN WRITING. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECT MATERIAL AND IT IS FOUND TO BE SAFE, OR THE MATERIAL HAS BEEN PROPERLY ABATED.
10. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
11. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.
12. STORAGE OF CONSTRUCTION MATERIAL AND EFFECT OF WORK ON EXISTING OCCUPIED AREAS SHALL BE APPROVED BY THE LOCAL FIRE AUTHORITY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK PROVIDED BY OTHERS UNDER SEPARATE CONTRACT.
14. KEYNOTES USED ON THE ARCHITECTURAL DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LIST ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE.
15. DURING CONSTRUCTION, COMPLIANCE WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION WILL BE ENFORCED.
16. DURING CONSTRUCTION, COMPLIANCE WITH CBC CHAPTER 33, SAFETY WILL BE ENFORCED.
17. NO CHANGES OR REVISIONS SHALL BE MADE FOLLOWING WRITTEN APPROVAL WHICH AFFECTS ACCESS COMPLIANCE ITEMS UNLESS SUCH CHANGES OR REVISIONS ARE SUBMITTED TO AHJ FOR APPROVAL.
18. SUBSTITUTIONS AFFECTING CCR REGULATIONS SHALL BE SUBMITTED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA AND APPROVED BY AHJ PRIOR TO FABRICATION AND INSTALLATION.



LEGEND

- A OCCUPANCY
- S OCCUPANCY
- UNOCCUPIED / CIRCULATION
- NOT IN SCOPE
- PROPERTY LINE

AREA NAME ← AREA NAME

OCCUPANT LOAD FACTOR
 AREA IN SF
 AREA OCCUPANT LOAD

TERMINATION POINT OF ACCESSIBLE PATH AT PUBLIC WAY

ACCESSIBLE PATH OF TRAVEL

MAXIMUM ALLOWABLE TRAVEL DISTANCE

MAXIMUM TRAVEL DISTANCE

COMMON PATH OF EGRESS TERMINATION

REMOTE POINT

OCCUPANT LOAD AT FIXED SEATING

OCCUPANT LOAD AT EXIT

PROVIDE (N) EXIT SIGN & CONNECT TO BACKUP BATTERY

NO.	DATE	DESCRIPTION	BY	APP.
10/01/2025		100% INTERDIVISIONAL REVIEW REV #1		
09/19/2025		100% INTERDIVISIONAL REVIEW		
08/22/2025		65% INTERDIVISIONAL REVIEW		
06/27/2025		10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
 CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

SAN FRANCISCO PORT COMMISSION
 PORT OF SAN FRANCISCO
 DEPARTMENT OF ENGINEERING

SIGNED 10/01/2025

DESIGNED: DATE:
 DRAWN: DATE:
 CHECKED: DATE:

APPROVED BY
 SAN FRANCISCO PORT COMMISSION
 DATE: 10/9/2025

Signed by:

 ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

CODE ANALYSIS & GENERAL NOTES

CONTRACT NO. 2894
 DRAWING NO. 23974-49-G
 SHEET NO. G.104-B
 OF

CODE ANALYSIS

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING GOVERNING CODES:

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA ENERGY CODE, TITLE 24 ENERGY STANDARD
- 2013 CALIFORNIA ELECTRICAL CODE (CEC) TITLE 24, PART 3
- 2013 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4
- 2013 CALIFORNIA PLUMBING CODE (CPC) TITLE 24, PART 5
- 2013 CALIFORNIA FIRE CODE (CFC) TITLE 24, PART 9
- 2013 PORT OF SAN FRANCISCO AMENDMENTS

LEGEND	USES	NOTE
---> EXIT PATH	ASSEMBLY (15 SF / OCC)	GREY AREA REPRESENTS AREAS OF BUILDING THAT ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT. AREA CALCULATIONS AND OCCUPANT LOADS ARE SHOWN FOR EXISTING CALCULATIONS ONLY.
#/1 DIRECTION AND NUMBER OF ROOM OCCUPANTS USING EGRESS	KITCHEN (200 SF / OCC)	
#/2 DIRECTION AND COMBINED NUMBER OF OCCUPANTS USING EGRESS	STORAGE (200 SF / OCC)	
	BUSINESS (100 SF / OCC)	
	GENERAL NOTE	
	1. VERIFY THAT OCCUPANT LOAD SIGNAGE MATCHES OCCUPANT LOAD SHOWN ON THIS SHEET	

MEANS OF EGRESS OCCUPANT LOAD - CBC CHAPTER 10, TABLE 1004.1.2

DESCRIPTION	FUNCTION	OCCUPANCY	FLOOR AREA (SF)	LOAD FACTOR	OCC. LOAD
DINING	ASSEMBLY	A-2	300	1/15	20
BOOTH SEATING	ASSEMBLY	A-2	88 TOTAL LF	1 PER 2 LF	34
GUEST WAITING	ASSEMBLY	A-2	35	1/5	7
HOST	KITCHEN	B	12	1/200	1
KITCHEN	KITCHEN	B	154	1/200	1
SERVICE STATION	KITCHEN	B	40	1/200	1
BAR 1 STANDING	ASSEMBLY	A-2	140	1/5	28
BAR 1 SEATING	ASSEMBLY	A-2	24 LF	1 PER 2 LF	12
GIFT SHOP	MERCANTILE	M	913	1/30	31
TOTAL			1594		135

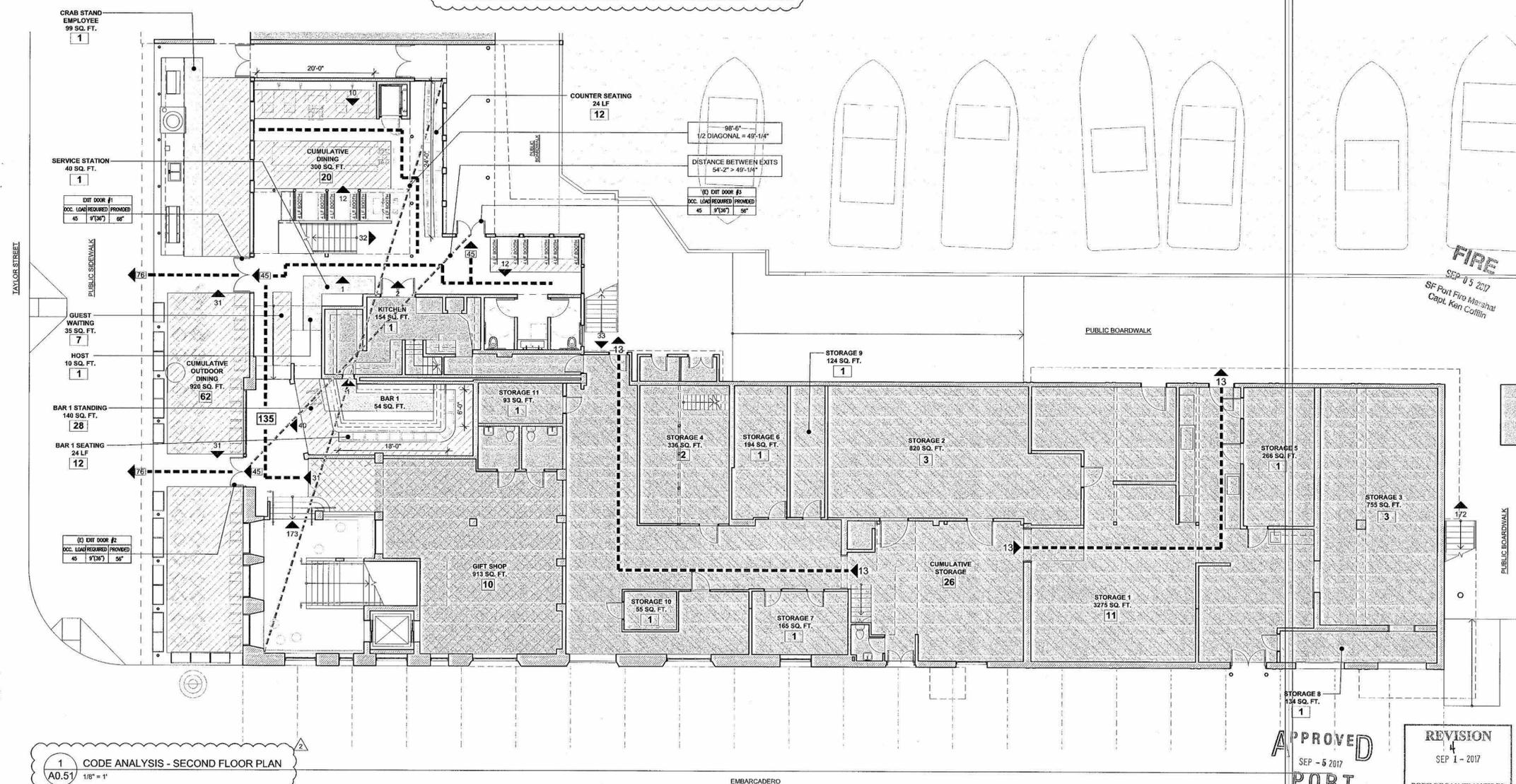
DESCRIPTION	FUNCTION	OCCUPANCY	FLOOR AREA (SF)	LOAD FACTOR	OCC. LOAD
OUTDOOR DINING	ASSEMBLY	A-2	920	1/15	62
CRAB STAND EMPLOYEE	KITCHEN	B	99	1/200	1
TOTAL			1019		63

*NOTE: OUTDOOR DINING AND CRAB STAND EMPLOYEE ARE INCLUDED IN CPC 422.1 PLUMBING SYSTEMS CALCULATIONS. THESE OCCUPANTS ARE EXCLUDED FROM OCCUPANT LOAD SIGNAGE BECAUSE OF THE DIRECT EXIT INTO AN UNENCLOSED SPACE.

MAXIMUM ALLOWABLE TRAVEL DISTANCE

ALLOWABLE - CBC 1004.2.5.1	AUTOMATIC SPRINKLER INCREASE CBC 1004.2.5.2.2	CBC 1004.2.5.1 - TRAVEL DISTANCE IS THE TOTAL LENGTH OF THE EXIT PATH AN OCCUPANT MUST TRAVEL FROM ANY POINT WITHIN THE OCCUPIED PORTIONS OF A BUILDING TO REACH AN EXTERIOR EXIT DOOR, ... OR AN ENCLOSED EXIT STAIRWAY DOOR.
200'	250'	

NOTE:
NO CHANGE IN OCCUPANCY OR USE.
NO CHANGE IN TOTAL SQUARE FOOTAGE.
NO WORK AT BUILDING EXTERIOR.



1 CODE ANALYSIS - SECOND FLOOR PLAN
A0.51 1/8" = 1'

CCS ARCHITECTURE
44 MCLEA COURT
SAN FRANCISCO
CALIFORNIA 94103
Tel: 415.854.2800
Fax: 415.854.2850
www.ccs-architecture.com



PROJECT NAME
FISHERMEN'S GROTTTO
2847 TAYLOR STREET
SAN FRANCISCO, CA 94133

ISSUED	DESCRIPTION
10.31.16	PERMIT SET
09.01.17	PERMIT RESPONSE

SHEET TITLE
CODE ANALYSIS

FILE: 1.16339-A0.50
BY: CCS
SCALE: AS NOTED
SHEET

APPROVED
SEP - 5 2017
PORT OF SAN FRANCISCO

REVISION
4
SEP 1 - 2017
PORT OF SAN FRANCISCO

A 0.50

NO.	DATE	DESCRIPTION	BY	APP.
	10/01/2025	100% INTERDIVISIONAL REVIEW REV #1		
	09/19/2025	100% INTERDIVISIONAL REVIEW		
	08/22/2025	65% INTERDIVISIONAL REVIEW		
	06/27/2025	10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

SIGNED 10/01/2025

LICENSED ARCHITECT
CHARLES YANCEY CLAYTON
C-35502
8/31/27 RENEWAL 2027
STATE OF CALIFORNIA

DESIGNED: DATE: 10/9/2025
DRAWN: DATE:
CHECKED: DATE:

APPROVED BY
SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025

Signed by: *Matthew...*
ACTING CHIEF HARBOR ENGINEER
APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

CODE ANALYSIS FOR REFERENCE ONLY - ALTERNATE

CONTRACT NO. 2894
DRAWING NO. 23975.1-49-G
SHEET NO. **G.106-B**
OF

CODE ANALYSIS

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING GOVERNING CODES:

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA ENERGY CODE, TITLE 24 ENERGY STANDARD
- 2013 CALIFORNIA ELECTRICAL CODE (CEC) TITLE 24, PART 3
- 2013 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4
- 2013 CALIFORNIA PLUMBING CODE (CPC) TITLE 24, PART 5
- 2013 CALIFORNIA FIRE CODE (CFC) TITLE 24, PART 9
- 2013 PORT OF SAN FRANCISCO AMENDMENTS

LEGEND	USES	NOTE
---> EXIT PATH	ASSEMBLY (15 SF / OCC)	GREY AREA REPRESENTS AREAS OF BUILDING THAT ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT. AREA CALCULATIONS AND OCCUPANT LOADS ARE SHOWN FOR EXISTING CALCULATIONS ONLY.
## DIRECTION AND NUMBER OF ROOM OCCUPANTS USING EGRESS	KITCHEN (300 SF / OCC)	
## DIRECTION AND COMBINED NUMBER OF OCCUPANTS USING EGRESS	STORAGE (300 SF / OCC)	GENERAL NOTE 1. VERIFY THAT OCCUPANT LOAD STORAGE MATCHES OCCUPANT LOAD SHOWN ON THIS SHEET
	MERCANTILE (30 SF / OCC)	

MEANS OF EGRESS

OCCUPANT LOAD - CBC CHAPTER 10, TABLE 1004.1.2

DESCRIPTION	FUNCTION	OCCUPANCY	FLOOR AREA (SF)	LOAD FACTOR	OCC. LOAD
DINING	ASSEMBLY	A-2	2910	1/15	194
BOOTH SEATING	ASSEMBLY	A-2	130 LF TOTAL	1 PER 2 LF	65
BAR LOUNGE	ASSEMBLY	A-2	450	1/15	30
BAR 2 SEATING	ASSEMBLY	A-2	34 LF	1 PER 2 LF	17
BAR 3 SEATING	ASSEMBLY	A-2	30 LF	1 PER 2 LF	15
GUEST WAITING	ASSEMBLY	A-2	70	1/5	14
KITCHEN	KITCHEN	B	1058	1/200	5.3
WALK-IN	STORAGE	B	66	1/300	0.2
BAR 2	KITCHEN	B	86	1/200	0.4
BAR 3	KITCHEN	B	64	1/200	0.3
HOST	KITCHEN	B	10	1/200	0.05
TOTAL			4714		345.343

DESCRIPTION	FUNCTION	OCCUPANCY	FLOOR AREA (SF)	LOAD FACTOR	OCC. LOAD
DINING	ASSEMBLY	A-2	555	1/15	37
BOOTH SEATING	ASSEMBLY	A-2	18 LF	1 PER 2 LF	9
COUNTER SEATING	ASSEMBLY	A-2	24 LF	1 PER 2 LF	12
STORAGE	STORAGE	B	242	1/200	1.2
KITCHEN	KITCHEN	B	417	1/200	2.1
SERVICE STATION	KITCHEN	B	65	1/200	0.3
TOTAL			1279		66.62

MAXIMUM ALLOWABLE TRAVEL DISTANCE

ALLOWABLE - CBC	AUTOMATIC SPRINKLER INCREASE
1004.2.5.1 1004.2.5.2.1	CBC 1004.2.5.2.2
200'	250'

NOTE:
NO CHANGE IN OCCUPANCY OR USE.
NO CHANGE IN TOTAL SQUARE FOOTAGE.
NO WORK AT BUILDING EXTERIOR.

PLUMBING SYSTEMS - CPC TABLE 422.1

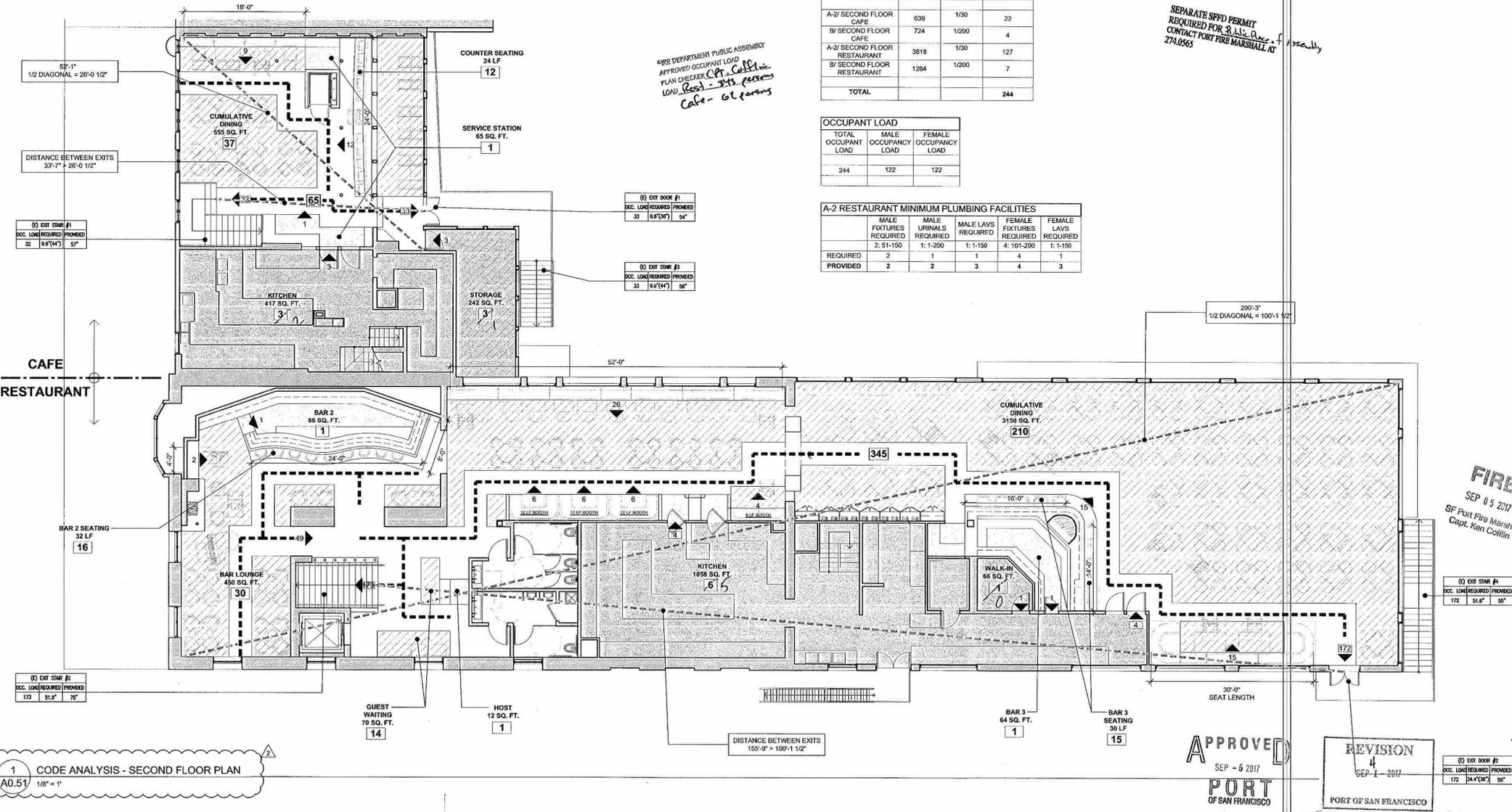
PLUMBING OCCUPANCY LOAD CALCULATIONS

OCCUPANCY TYPE / DESCRIPTION	FLOOR AREA	OCC. LOAD FACTOR	OCCUPANT LOAD
A-2/ FIRST FLOOR OUTDOOR DINING	920	1/30	31
B/ CRAB STAND EMPLOYEE	99	1/200	1
A-2/ FIRST FLOOR CAFE	436	1/30	15
B/ FIRST FLOOR CAFE (INCLUDES BOH STORAGE)	6423	1/200	32
M/ FIRST FLOOR GIFT SHOP	913	1/200	5
A-2/ SECOND FLOOR CAFE	639	1/30	22
B/ SECOND FLOOR CAFE	724	1/200	4
A-2/ SECOND FLOOR RESTAURANT	3618	1/30	127
B/ SECOND FLOOR RESTAURANT	1284	1/200	7
TOTAL			244

OCCUPANT LOAD	MALE	FEMALE
TOTAL OCCUPANT LOAD	122	122

A-2 RESTAURANT MINIMUM PLUMBING FACILITIES

	MALE FIXTURES REQUIRED	MALE URINALS REQUIRED	MALE LAVS REQUIRED	FEMALE FIXTURES REQUIRED	FEMALE LAVS REQUIRED
REQUIRED	2: 51-150	1: 1-200	1: 1-150	4: 101-200	1: 1-150
PROVIDED	2	2	3	4	3



CCS ARCHITECTURE
44 MCLEA COURT
SAN FRANCISCO
CALIFORNIA 94103
Tel: 415.884.2900
Fax: 415.884.2850
www.ccs-architecture.com



PROJECT NAME
FISHERMEN'S GROTTO
2847 TAYLOR STREET
SAN FRANCISCO, CA 94133

ISSUED	DESCRIPTION
10.31.16	PERMIT SET
09.01.17	PERMIT RESPONSE

SHEET TITLE
CODE ANALYSIS

FILE 1.16339-A0.50
BY CCS
SCALE AS NOTED
SHEET

A 0.51

NO.	DATE	DESCRIPTION	BY	APP.
10/01/2025		100% INTERDIVISIONAL REVIEW REV #1		
09/19/2025		100% INTERDIVISIONAL REVIEW		
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06/27/2025		10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

SIGNED 10/01/2025

DESIGNED: DATE: 10/9/2025
DRAWN: DATE:
CHECKED: DATE:

APPROVED BY
SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025

Signed by: *Matthew...*
ACTING CHIEF HARBOR ENGINEER
APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

CODE ANALYSIS FOR REFERENCE ONLY - ALTERNATE

CONTRACT NO. 2894
DRAWING NO. 23975.2-49-G
SHEET NO. **G.107-B**
OF

GENERAL NOTES

1. ALL WORK PERFORMED SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
2. PROTECT ALL EXISTING UTILITIES, IMPROVEMENTS AND STRUCTURES AND RESTORE TO NEW CONDITION AT NO ADDITIONAL COST TO THE CITY IF DAMAGED DURING THE COURSE OF WORK.
3. COORDINATE ALL WORK TO PREVENT CONFLICTS BETWEEN TRADES AND SHALL REPORT CONFLICTS, OR INCONGRUITIES BETWEEN NEW IMPROVEMENTS AND EXISTING FACILITIES TO PROPERTY OWNER (OR ACTING AGENT) IMMEDIATELY.
4. NOTIFY PROPERTY OWNER (OR ACTING AGENT), IF EXISTING ELECTRICAL CONDUIT IS AFFECTED BY CONSTRUCTION.
5. PRIOR TO DEMOLITION, PERFORM A SITE WALK-THROUGH WITH PROPERTY OWNER (OR ACTING AGENT) TO REVIEW DEMOLITION.
6. RESET EXISTING UTILITY BOXES IN ALL PATH AND PAVING AREAS TO NEW PAVING ELEVATIONS.

DEMOLITION NOTES

1. ALL MATERIAL TO BE REMOVED SHALL BE DISPOSED OF BY CONTRACTOR, IN A LEGAL MANNER AS CONTRACTOR'S PROPERTY.

GRADING NOTES

1. VERIFY ALL GRADES IN THE FIELD BEFORE PROCEEDING WITH WORK, INCLUDING EXISTING IMPROVEMENTS, AND LOCATION AND ELEVATIONS OF UTILITY BOXES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURFACE DRAINAGE IN ALL PAVING AND PLANTING AREAS. ALL GROUND SURFACES SHALL BE FINISHED TO A SMOOTH AND CONTINUOUS GRADE, DRAINING PROPERLY AND FREE OF STANDING WATER. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW GRADES IN PLANTING AREAS.
3. WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT, FINISH GRADES SHALL BE FLUSH UNLESS OTHERWISE NOTED. EASE TOP AND TOE OF ALL SLOPES TO PROVIDE SMOOTH TRANSITIONS BETWEEN GROUND PLANES.

ABBREVIATIONS

CO	CLEAN-OUT
CONC.	CONCRETE
CH	CURB HEIGHT
E	ELECTRICAL
EX	EXISTING
GV	GAS VALVE
HPFS	HIGH PRESSURE FIRE SERVICE
IN	INCH
SL	STREET LIGHT
U	UTILITY
WM	WATER METER
FS	FINISHED SURFACE
TC	TOP OF CURB
BC	BOTTOM OF CURB

LEGEND

	PROPOSED CONTOUR
	EXISTING CONTOUR
	PULLBOX (UTILITY PER PLAN)
	GAS VALVE
	GRATED INLET
	PEDESTRIAN LIGHTING
	PEDESTAL
	SURFACE DRAIN
	PROPOSED HANDRAIL
	CLEAN OUT
	UTILITY MANHOLE
	CATCH BASIN INLET
	FINISH REPAIR

INDEX TO DRAWINGS

SHEET NO.	TITLE
C.100-B	NOTES ABBREVIATIONS, AND LEGEND
C.101-B	GRADING PLAN
C.102-B	GRADING PLAN - ALTERNATE

NO.	DATE	DESCRIPTION	BY	APP.
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		65% INTERDIVISIONAL REVIEW		
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PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING



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DRAWN: J.M.	DATE: 08/2025	DATE: 10/9/2025
CHECKED: K.C.	DATE: 08/2025	Signed by: ACTING CHIEF HARBOR ENGINEER

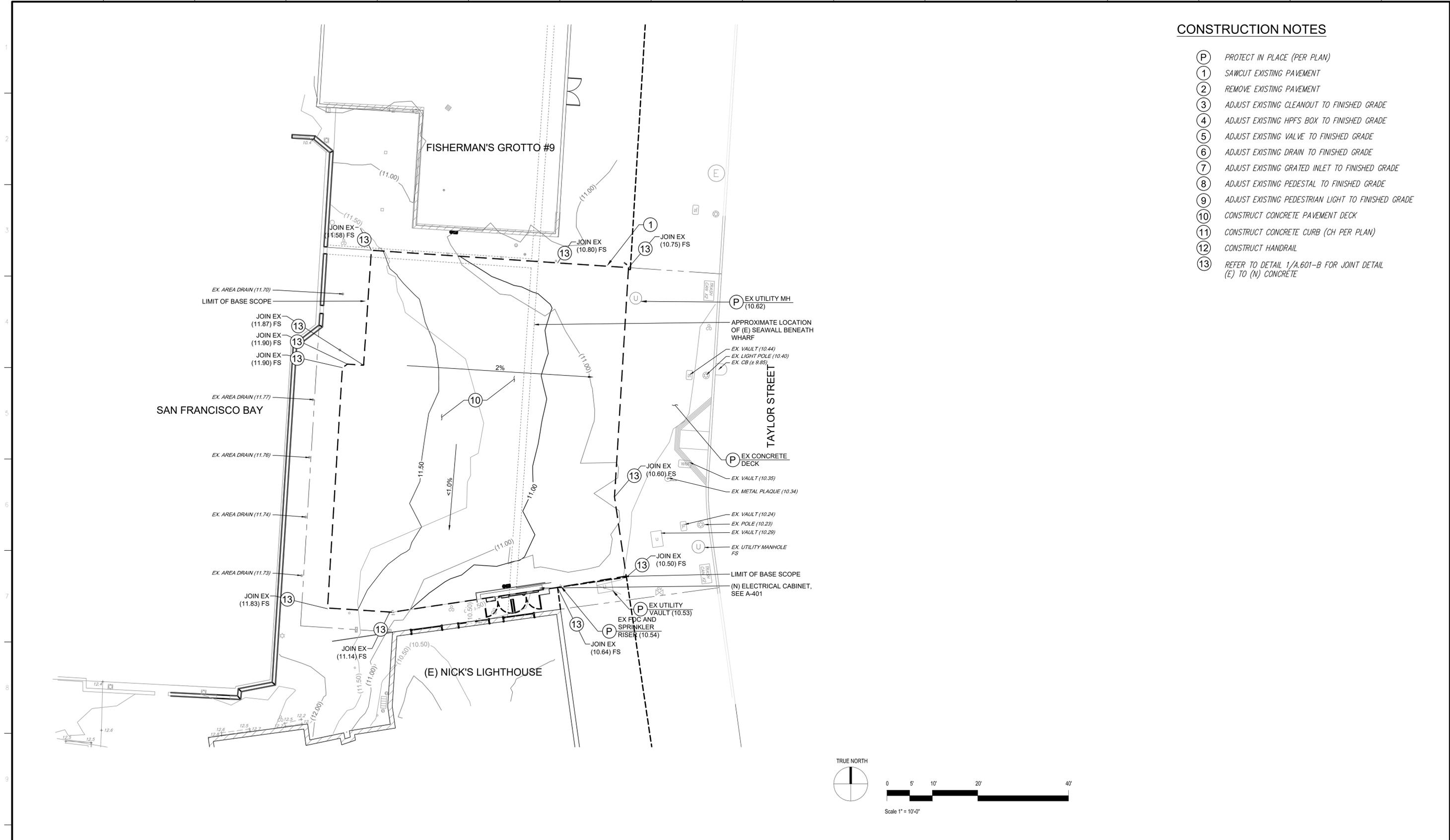
FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

NOTES, ABBREVIATIONS, AND LEGEND

CONTRACT NO. 2894
DRAWING NO. 23976-49-C
SHEET NO. C.100-B
OF

CONSTRUCTION NOTES

- (P) PROTECT IN PLACE (PER PLAN)
- (1) SAWCUT EXISTING PAVEMENT
- (2) REMOVE EXISTING PAVEMENT
- (3) ADJUST EXISTING CLEANOUT TO FINISHED GRADE
- (4) ADJUST EXISTING HPFS BOX TO FINISHED GRADE
- (5) ADJUST EXISTING VALVE TO FINISHED GRADE
- (6) ADJUST EXISTING DRAIN TO FINISHED GRADE
- (7) ADJUST EXISTING GRATED INLET TO FINISHED GRADE
- (8) ADJUST EXISTING PEDESTAL TO FINISHED GRADE
- (9) ADJUST EXISTING PEDESTRIAN LIGHT TO FINISHED GRADE
- (10) CONSTRUCT CONCRETE PAVEMENT DECK
- (11) CONSTRUCT CONCRETE CURB (CH PER PLAN)
- (12) CONSTRUCT HANDRAIL
- (13) REFER TO DETAIL 1/A.601-B FOR JOINT DETAIL (E) TO (N) CONCRETE



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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

GRADING PLAN

CONTRACT NO. 2894
 DRAWING NO. 23977-49-C
 SHEET NO. **C.101-B**
 OF



- ### DEMOLITION NOTES
- ALL MATERIAL INDICATED TO BE REMOVED IS TO BE DISPOSED OF OFF SITE IN A LEGAL MANNER, UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
 - CONTRACTOR SHALL PROTECT PORTIONS OF EXISTING CONSTRUCTION NOT INDICATED TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND REPAIR OF ITEMS TO REMAIN.
 - REFER TO OTHER PLANS FOR ADDITIONAL DEMOLITION WORK.
 - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS.
 - REFER TO FLOOR PLANS FOR PATCHING AND REINSTALLATION OF EXISTING CONSTRUCTION.
 - PARTIAL DEMOLITION SHALL INCLUDE TRIMMING AND CAPPING SYSTEMS THAT ARE TO REMAIN OPERABLE.
 - DEMOLITION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL REMOVE EXTENT REQUIRED FOR THE INSTALLATION OF (N) WORK.

DEMOLITION LEGEND

- (E) BLDGS NIC
- DEMOLISHED
- SEAWALL BELOW
- OVERHEAD
- PROPERTY LINE / LIMIT OF WORK UON
- LIMIT OF WORK

1 DEMOLITION SITE PLAN
SCALE: 1" = 10'-0"



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LICENSED ARCHITECT
CHARLES YANCEY CLAYTON
C-35502
8/31/27 RENEWAL 2027
STATE OF CALIFORNIA

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CHECKED:	DATE:

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SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

Signed by: *Matthew...*
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FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN - DEMOLITION

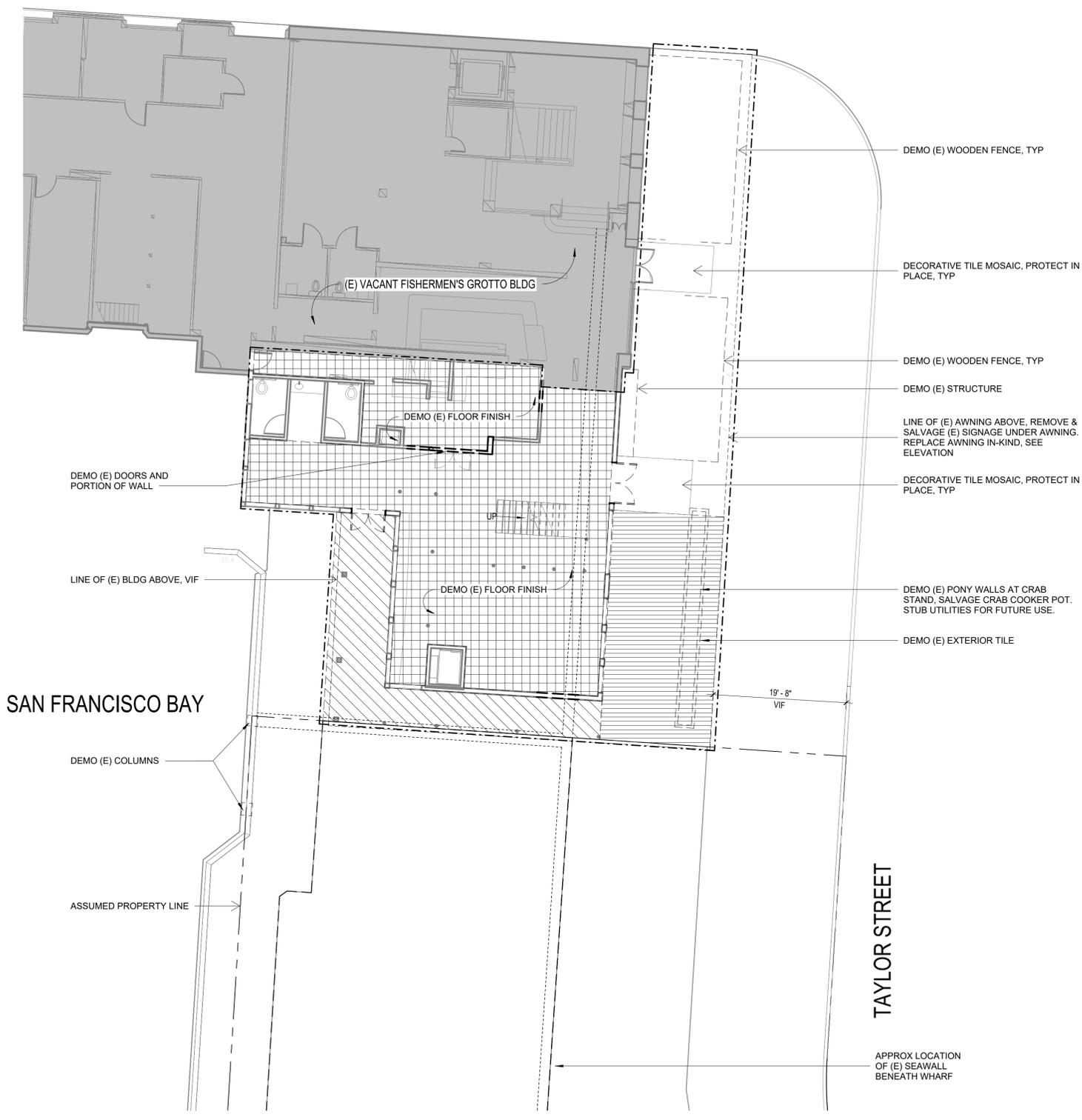
CONTRACT NO. 2894
DRAWING NO. 23979-49-A
SHEET NO. AD.101-B
OF

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7. DEMOLITION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL REMOVE EXTENT REQUIRED FOR THE INSTALLATION OF (N) WORK.

DEMOLITION LEGEND

	(E) BLDGS NIC
	DEMO (E) CONCRETE AND DECK
	DEMO (E) EXTERIOR TILE
	DEMO (E) INTERIOR FLOOR FINISH
	DEMOLISHED
	SEAWALL BELOW
	OVERHEAD
	PROPERTY LINE / LIMIT OF WORK UON
	LIMIT OF WORK



1 DEMOLITION SITE PLAN - ALTERNATE
 SCALE: 1" = 10'-0"



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 C-35502
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 STATE OF CALIFORNIA

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CHECKED:	DATE:

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Signed by:

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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN - DEMOLITION - ALTERNATE

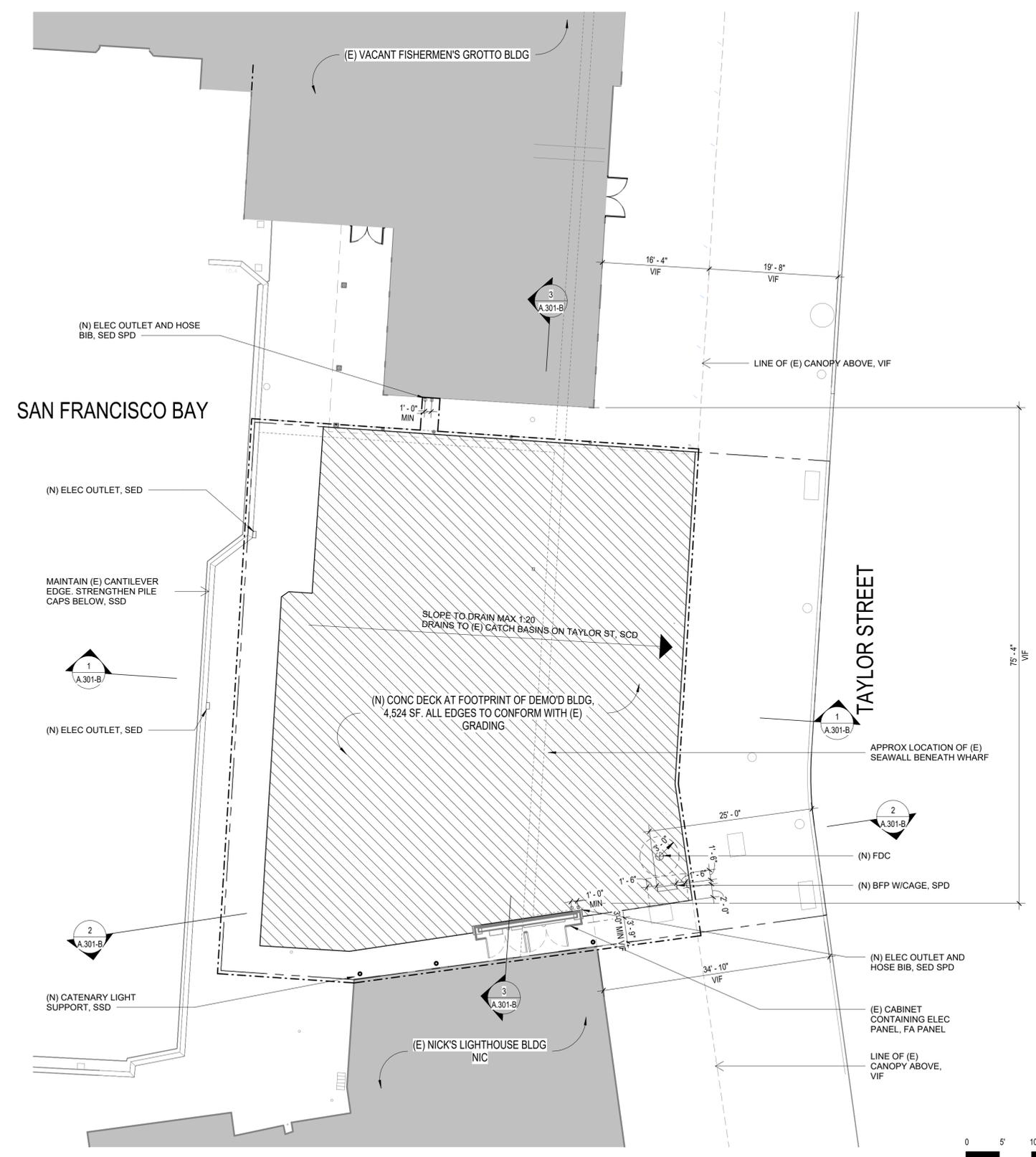
CONTRACT NO. 2894
DRAWING NO. 23980-49-A
SHEET NO. AD.102-B
OF

SHEET NOTES

1. PLAZA DESIGN ELEMENTS SUCH AS FURNISHING, FINISHES, PAINTING ETC NOT SHOWN. SCOPE TO BE ADDED IN A SEPARATE PACKAGE
2. ALL (E) ROOF DRAINS AND DECK DRAINS AT ALIOTO'S ASSUMED TO DRAIN TO MS4.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE AND SHALL REPORT ANY DISCREPANCIES IN WRITING TO THE CONSTRUCTION MANAGER BY THE MEANS OF AN REQUEST FOR INFORMATION (RFI) OR AS PART OF THE APPLICABLE SHOP DRAWINGS OR SUBMITTALS.
4. SPECIFIC ITEMS NOTED TO BE VERIFIED OR FIELD VERIFIED ARE REQUIRED TO BE VERIFIED PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK.

LEGEND

-  EXTENTS OF (N) CONCRETE TOPPING SLAB & DECK
-  (N) SCREED FINISH
-  (E) BLDGS NIC
-  SEAWALL BELOW
-  OVERHEAD
-  LIMIT OF WORK
-  (E) WALL
-  (N) WALL
-  (N) RESINOUS FLOOR FINISH
-  (N) ENGINEERED WOOD FLOORING



1 SITE PLAN - PACKAGE B
SCALE: 1" = 10'-0"



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C-35502
RENEWED 8/31/27
STATE OF CALIFORNIA

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FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN

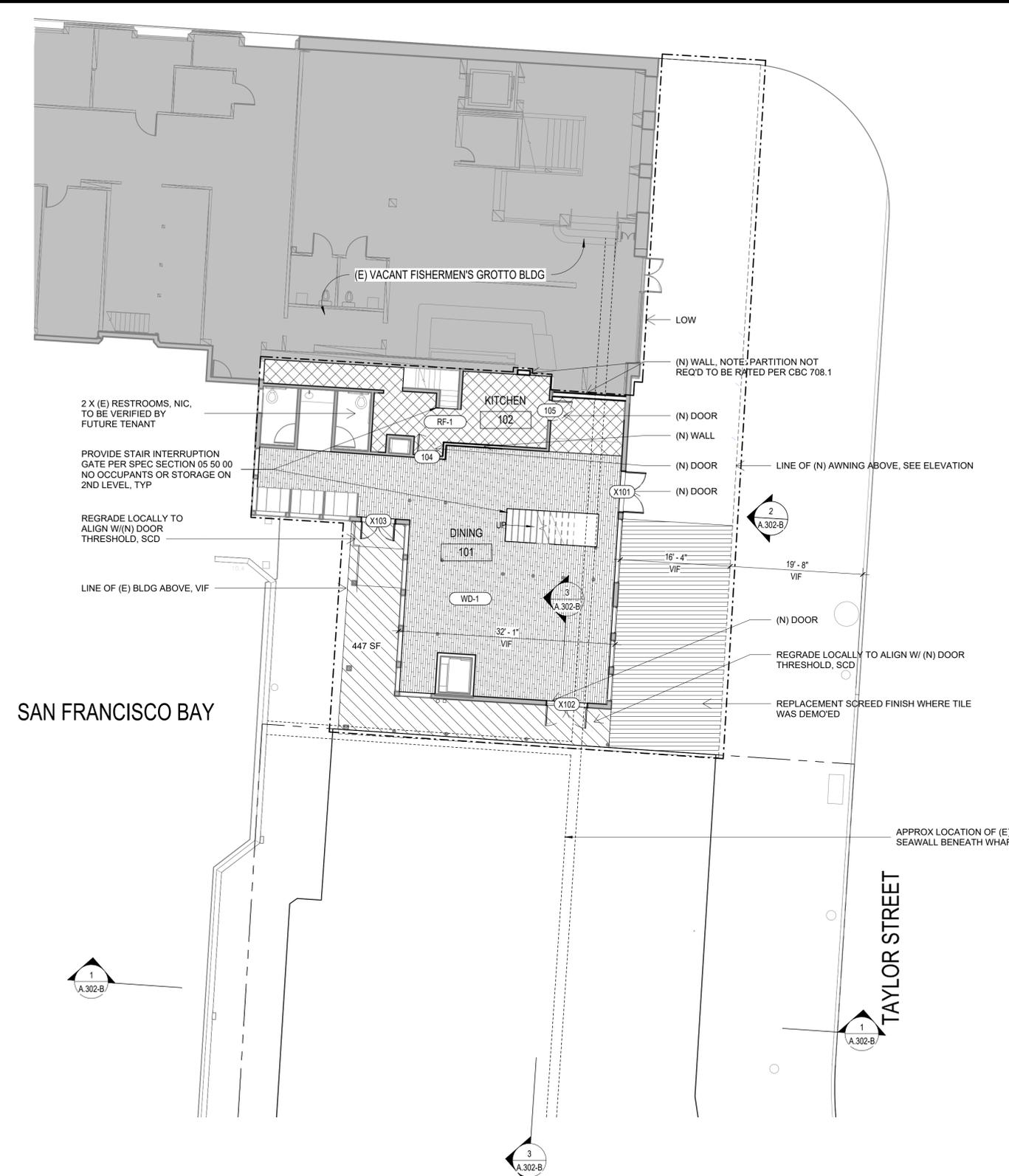
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SHEET NO. A.102-B OF

SHEET NOTES

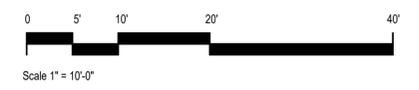
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LEGEND

-  EXTENTS OF (N) CONCRETE TOPPING SLAB & DECK
-  (N) SCREED FINISH
-  (E) BLDGS NIC
-  SEAWALL BELOW
-  OVERHEAD
-  LIMIT OF WORK
-  (E) WALL
-  (N) WALL
-  (N) RESINOUS FLOOR FINISH
-  (N) ENGINEERED WOOD FLOORING



1 SITE PLAN - PACKAGE B - ALTERNATE
SCALE: 1" = 10'-0"



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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN - ALTERNATE

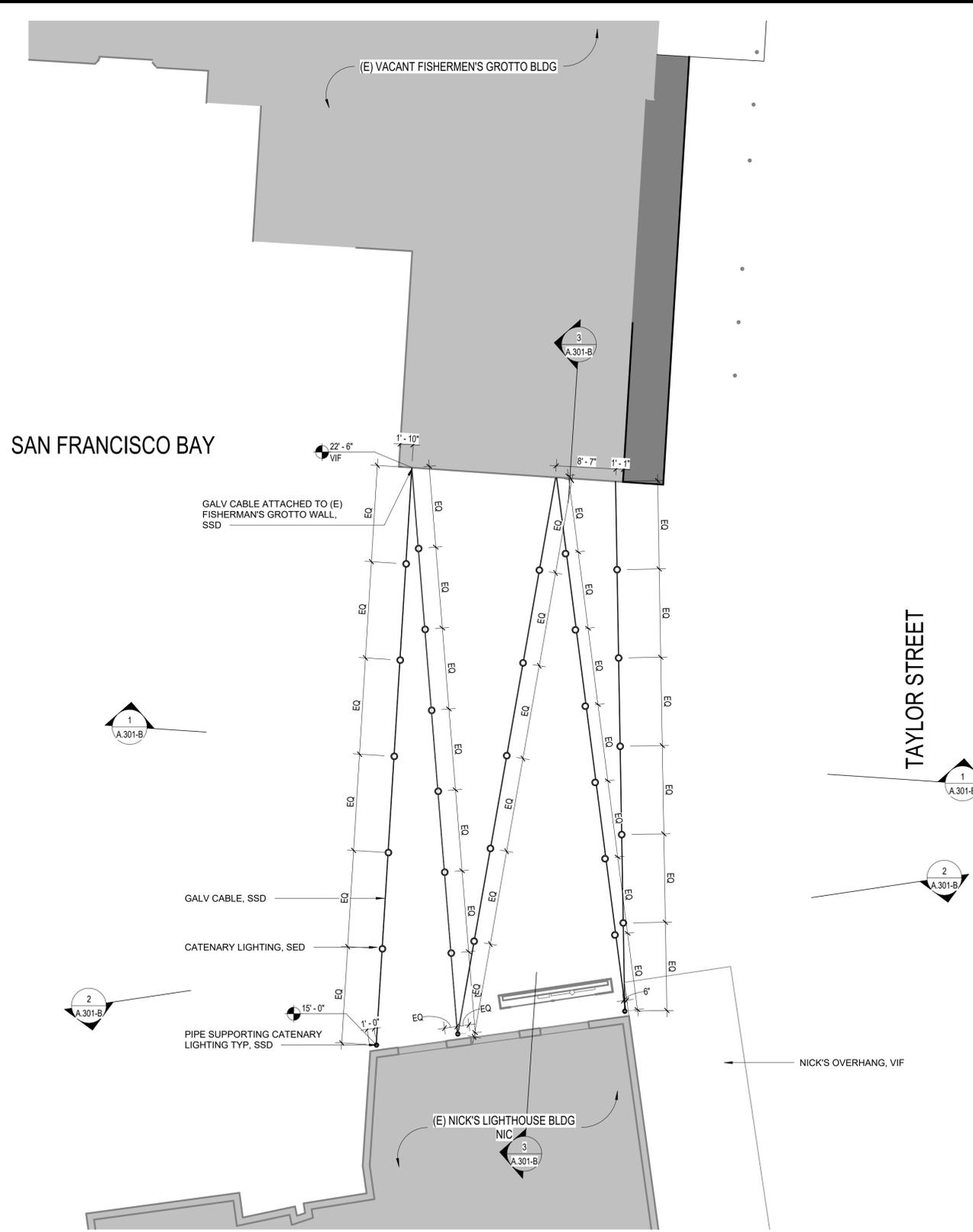
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DRAWING NO. 23982-49-A
SHEET NO. A.103-B OF

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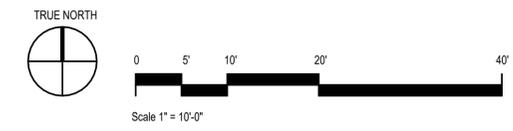
1. PLAZA DESIGN ELEMENTS SUCH AS FURNISHING, FINISHES, PAINTING ETC NOT SHOWN. SCOPE TO BE ADDED IN A SEPARATE PACKAGE
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LEGEND

-  CATENARY LIGHT, SED FOR ADD'L INFORMATION
-  (E) BLDGS NIC
-  GALV CABLE
-  OVERHEAD
-  LIMIT OF WORK
-  (E) WALL
-  (N) WALL



1 SITE RCP
SCALE: 1" = 10'-0"



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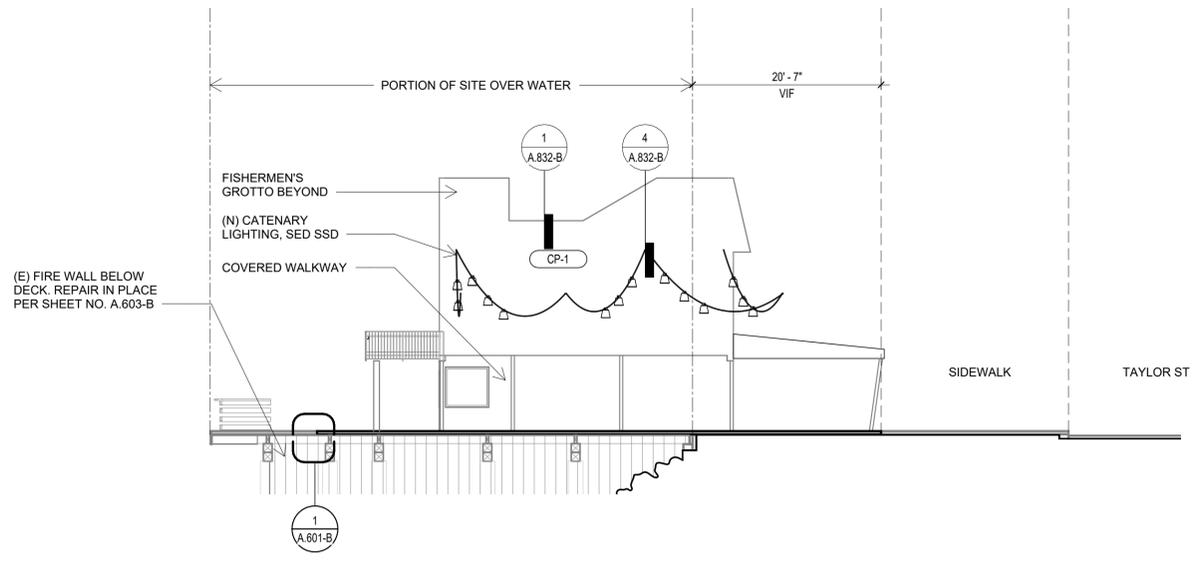
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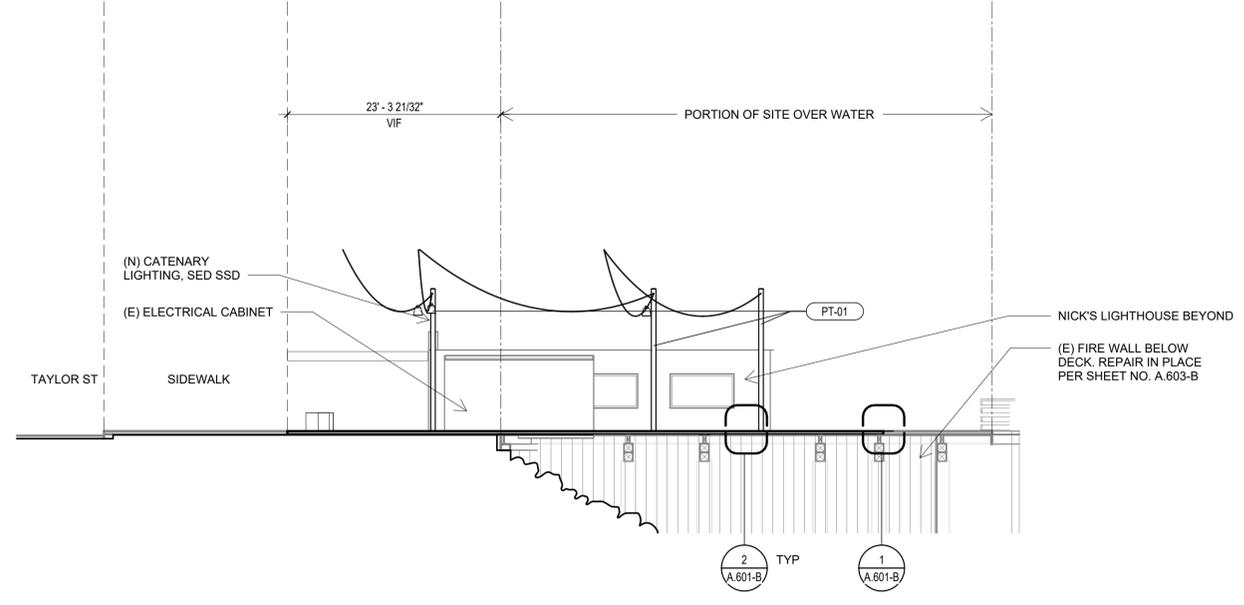
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SITE RCP

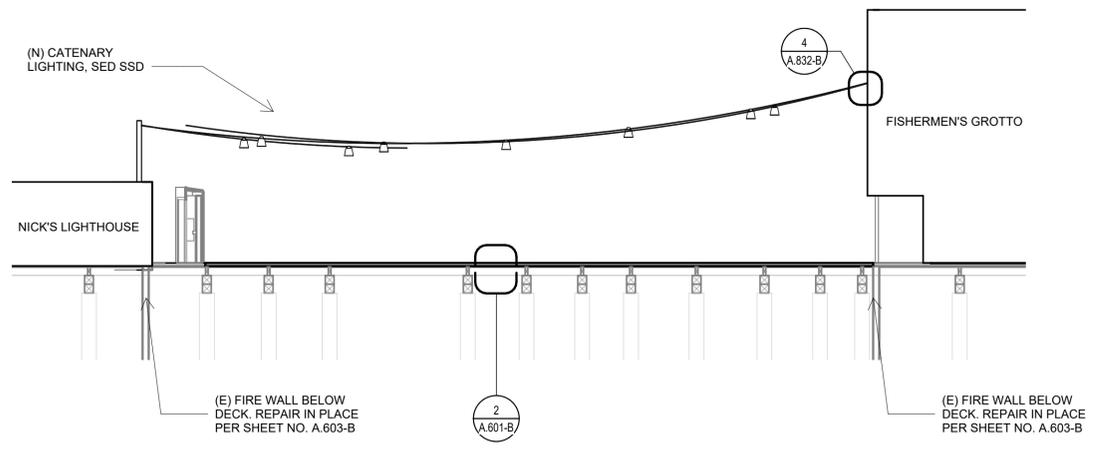
CONTRACT NO. 2894
DRAWING NO. 23983-49-A
SHEET NO. A.201-B
OF



1 SITE SECTION E-W N
SCALE: 1" = 10'-0"



2 SITE SECTION E-W S
SCALE: 1" = 10'-0"



3 SITE SECTION N-S W
SCALE: 1" = 10'-0"

EXTERIOR FINISH SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	COMMENTS	Keynote
CP-1	CEMENT PLASTER	PAREX USA	SKIM COAT, SANTA BARBARA MISSION FINISH / CUSTOM COLOR PER ARCHITECT'S SELECTION	
PT-01	HIGH PERFORMANCE COATING AT EXTERIOR	TNEMEC OR EQUAL	COLOR TBD	

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CHARLES YANCEY CLAYTON
C-35502
8/31/27 RENEWAL
STATE OF CALIFORNIA

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DATE: 10/9/2025
Signed by: *Matthew Kelly*
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FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
SITE SECTIONS

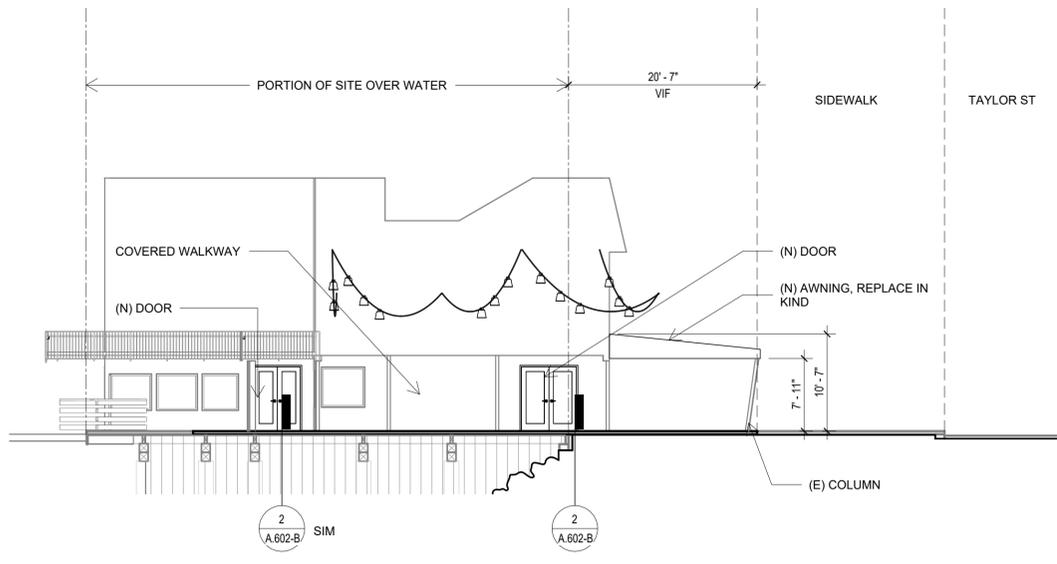
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DRAWING NO. 23984-49-A
SHEET NO. A.301-B
OF

SHEET NOTES

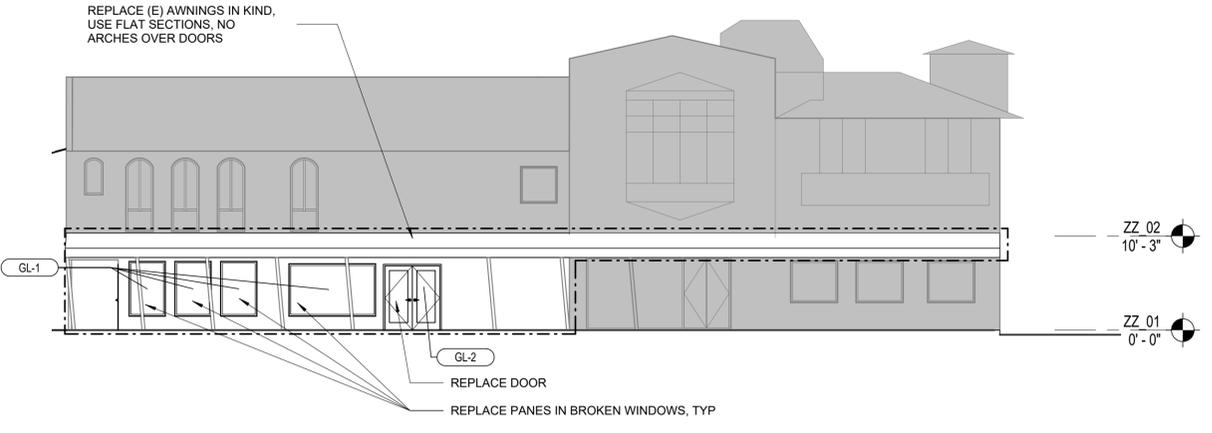
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4. SPECIFIC ITEMS NOTED TO BE VERIFIED OR FIELD VERIFIED ARE REQUIRED TO BE VERIFIED PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK.
5. ANY DAMAGE TO ADJACENT BLDGS SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.

LEGEND

-  NOT IN SCOPE
-  LIMIT OF WORK



1 SITE SECTION E-W N
SCALE: 1" = 10'-0"



2 EXTERIOR ELEVATION - GROTTO
SCALE: 1" = 10'-0"



3 SITE SECTION N-S W
SCALE: 1" = 10'-0"

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ARCADIS, A CALIFORNIA PARTNERSHIP

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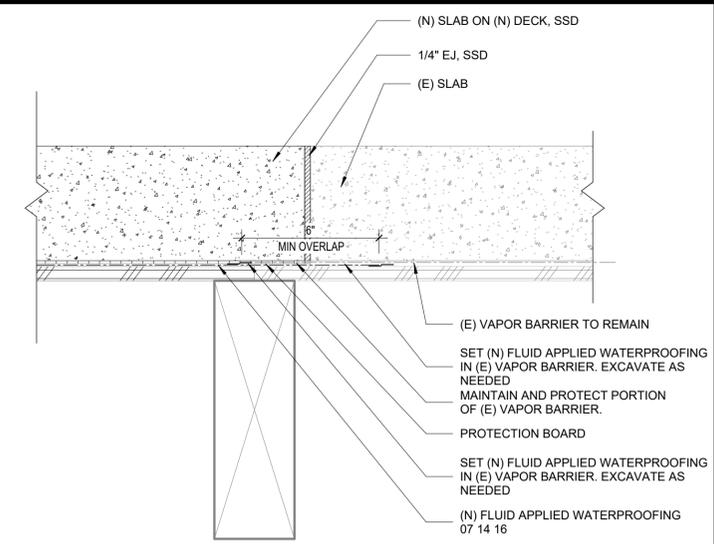
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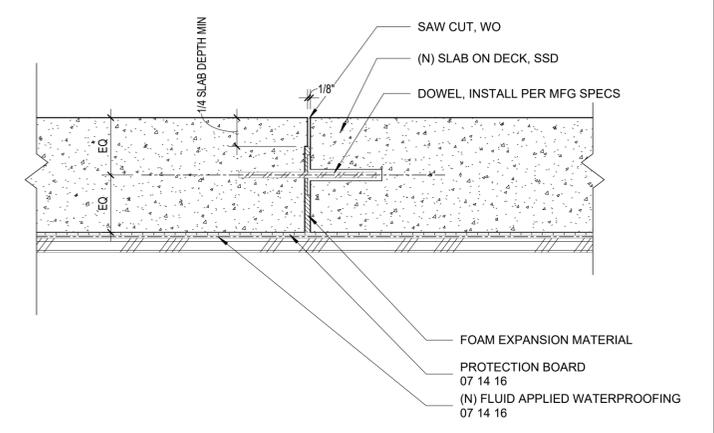
FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SECTIONS & ELEVATIONS - ALTERNATE

CONTRACT NO. 2894
DRAWING NO. 23985-49-A
SHEET NO. A.302-B
OF



1 (N) SLAB AT (E) SLAB W/ VAPOR BARRIER
SCALE: 3" = 1'-0"



2 SAWCUT AT (N) CONCRETE TYP
SCALE: 3" = 1'-0"

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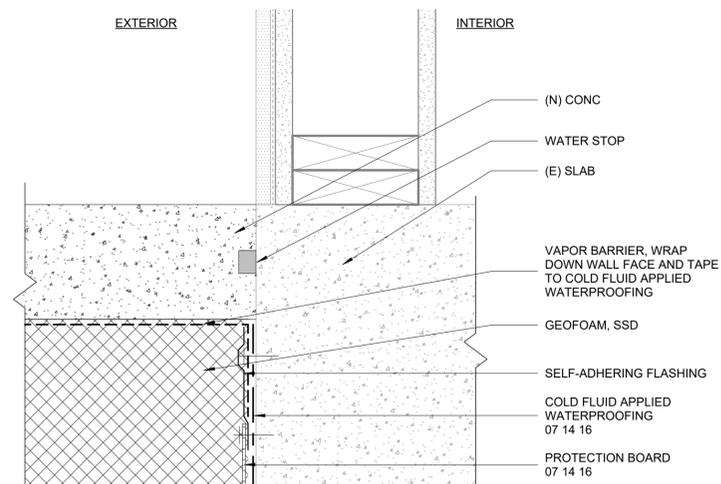
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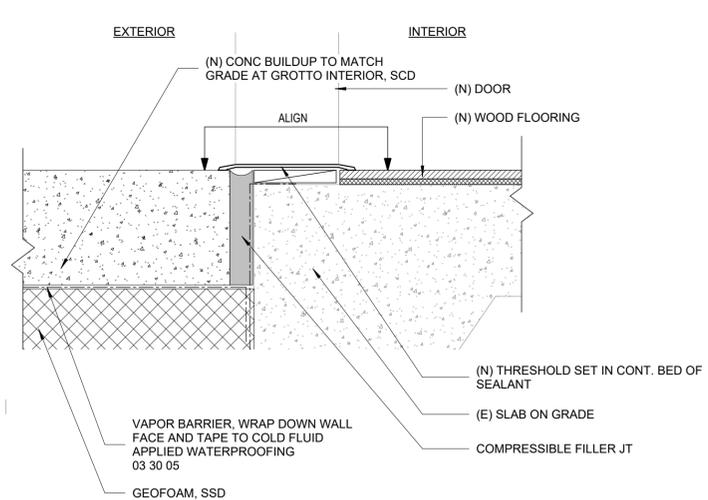
FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

DECK DETAILS

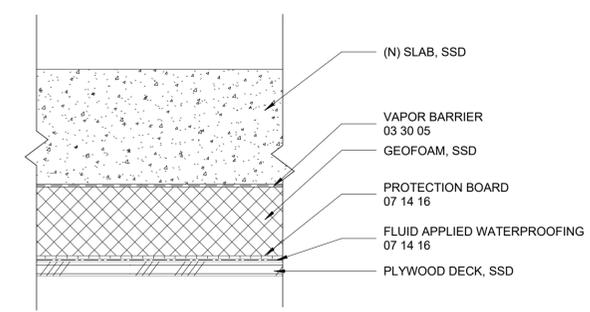
CONTRACT NO. 2894
DRAWING NO. 23986-49-A
SHEET NO. A.601-B
OF



3 (N) SLAB OVER GEOFOAM AT (E) BLDG
SCALE: 3" = 1'-0"



2 (N) SLAB OVER (E) SLAB AT (N) DOOR
SCALE: 3" = 1'-0"



1 (N) SLAB W/GEOFOAM
SCALE: 3" = 1'-0"

NO.	DATE	DESCRIPTION	BY	APP.
	10/01/2025	100% INTERDIVISIONAL REVIEW REV #1		
	09/19/2025	100% INTERDIVISIONAL REVIEW		
	08/22/2025	65% INTERDIVISIONAL REVIEW		
	06/27/2025	10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

SIGNED 10/01/2025

DESIGNED:	DATE:
DRAWN:	DATE:
CHECKED:	DATE:

APPROVED BY
SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

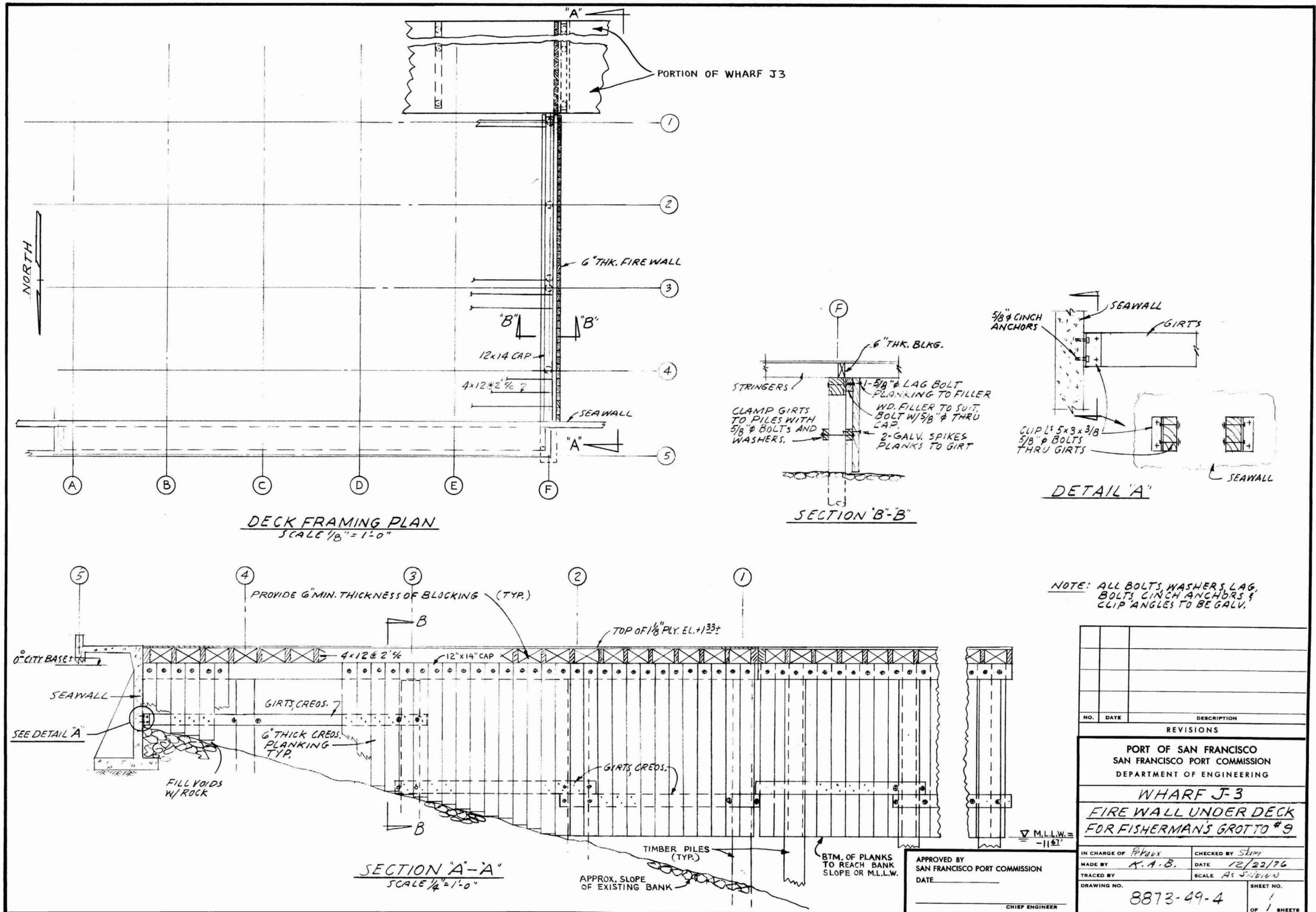
Signed by: *[Signature]*
ACTING CHIEF HARBOR ENGINEER

APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

DECK DETAILS - ALTERNATE

CONTRACT NO. 2894
DRAWING NO. 23987-49-A
SHEET NO. A.602-B
OF



NO.	DATE	DESCRIPTION
REVISIONS		
PORT OF SAN FRANCISCO SAN FRANCISCO PORT COMMISSION DEPARTMENT OF ENGINEERING		
WHARF J-3		
FIRE WALL UNDER DECK FOR FISHERMAN'S GROTTO #9		
IN CHARGE OF	Checked by	
MADE BY	DATE	
TRACED BY	SCALE	
DRAWING NO.	SHEET NO.	
8873-49-4	1	OF 1 SHEETS

NO.	DATE	DESCRIPTION	BY	APP.
10/01/2025		100% INTERDIVISIONAL REVIEW REV #1		
09/19/2025		100% INTERDIVISIONAL REVIEW		
08/22/2025		65% INTERDIVISIONAL REVIEW		
06/27/2025		10% INTERDIVISIONAL REVIEW		

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CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

LICENSED ARCHITECT
CHARLES YANCEY CLAYTON
C-35502
RENEWED 2025
STATE OF CALIFORNIA

DESIGNED: DATE: _____
DRAWN: DATE: _____
CHECKED: DATE: _____

APPROVED BY
SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025

Signed by:
ACTING CHIEF HARBOR ENGINEER

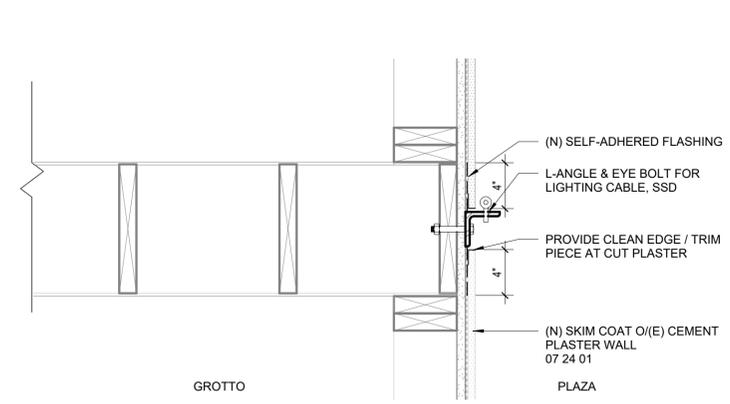
**FISHERMAN'S WHARF FORWARD - TAYLOR
STREET PUBLIC PLAZA (PACKAGE B)**

**FIRE WALL UNDER DECK FOR FISHERMAN'S
GROTTO #9 (FOR REFERENCE ONLY)**

CONTRACT NO.
2894

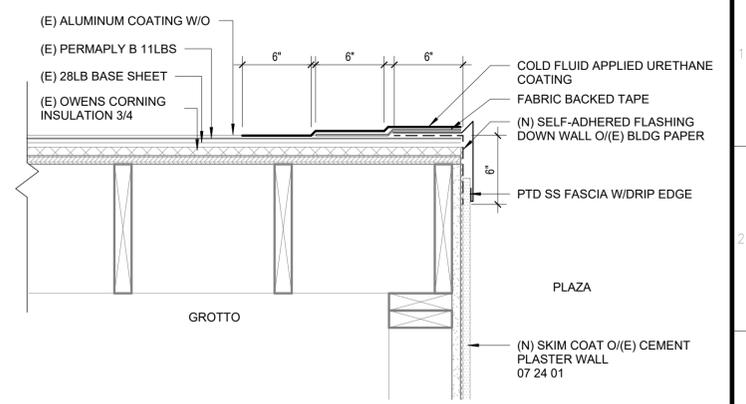
DRAWING NO.
23988-49-A

SHEET NO.
A.603-B
OF



NOTE: NO EXPLORATORY DEMOLITION HAS BEEN CARRIED OUT AT THIS CONDITION. ALL ASSUMPTIONS ARE BASED ON VISUAL OBSERVATIONS IN THE FIELD AND HAVE NOT BEEN VALIDATED

4 LIGHTING STRAND ATTACHMENT AT ROOF
SCALE: 1 1/2" = 1'-0"



NOTE: NO EXPLORATORY DEMOLITION HAS BEEN CARRIED OUT AT THIS CONDITION. ALL ASSUMPTIONS ARE BASED ON VISUAL OBSERVATIONS IN THE FIELD AND HAVE NOT BEEN VALIDATED

1 ROOF REPAIR
SCALE: 1 1/2" = 1'-0"

NO.	DATE	DESCRIPTION	BY	APP.
	10/01/2025	100% INTERDIVISIONAL REVIEW REV #1		
	09/19/2025	100% INTERDIVISIONAL REVIEW		
	08/22/2025	65% INTERDIVISIONAL REVIEW		
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CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

SIGNED 10/01/2025

DESIGNED:	DATE:
DRAWN:	DATE:
CHECKED:	DATE:

APPROVED BY
SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

Signed by:

ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

ROOF DETAILS

CONTRACT NO. 2894
DRAWING NO. 23989-49-A
SHEET NO. A.832-B
OF

DOOR AND WINDOW - GENERAL NOTES

- | | |
|--|--|
| <p>1. DOORS AND WINDOWS ARE IDENTIFIED IN PLANS & ELEVATIONS.</p> <p>2. ALL DOORS ARE 1-3/4" THICK U.O.N. ALL HOLLOW METAL FRAME MEMBERS ARE 2" IN WIDTH, U.O.N. REFER TO DETAILS.</p> <p>3. EXIT DOORS FROM ALL OCCUPIED SPACES TO BE PROVIDED WITH TYPE OF LOCK OR LATCH THAT IS OPENABLE FROM THE INSIDE PER THE REQUIREMENTS OF THE 2013 CALIFORNIA BUILDING CODE SECTION 1008, ARTICLE 1008.1.9 - DOOR OPERATIONS.</p> <p>4. ALL RATED DOORS TO BE POSITIVE LATCHING AND SELF-CLOSING. 'LABEL' SHALL MEAN 'FIRE ASSEMBLY' AS DEFINED IN 2013 CBC SECTION 715</p> <p>5. ALL LABELED DOORS SHALL HAVE APPROPRIATE CLOSER AND HARDWARE ASSEMBLIES AS REQUIRED BY DOOR LABELING AGENCY.</p> <p>6. ALL DOORS AND FRAMES SHALL BE PAINTED COLOR AS SPECIFIED BY THE ARCHITECT.</p> <p>7. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL BE AS FOLLOWS:</p> <p>A. INTERIOR DOORS = 5 LBS
 B. EXTERIOR DOORS = 5 LBS
 C. FIRE DOORS = THE AUTHORITY HAVING JURISDICITON MAY INCREASE THE MAXIMUM EFFORT TO OPERATE FIRE DOORS TO ACHIEVE POSITIVE LATCHING BUT NOT TO EXCEED 15 LBS. MAXIMUM.</p> <p>8. FLOOR MOUNTED DOOR STOPS AND SIMILAR OBSTRUCTIONS TO BE INSTALLED 4" MAX. FROM FACE OF WALL OR PARTITION.</p> <p>9. PROVIDE ROOM IDENTIFICATION SIGNAGE AT ALL DOORS, U.O.N. REFER TO DOOR SCHEDULE. CONTRACTOR SHALL SUBMIT A DOOR SIGNAGE SCHEDULE TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.</p> | <p>10. REFER TO DOOR SCHEDULE FOR DOOR WIDTHS, HEIGHTS, AND MATERIAL.</p> <p>11. REFER TO FLOOR PLANS FOR DOOR LOCATIONS, AND DIRECTION OF SWINGS.</p> <p>12. DOOR AND FRAME TYPE SCHEDULE: IF NO DETAIL IS REFERENCED, REFER TO SIMILAR CONDITIONS.</p> <p>13. IN ADDITION TO THE LOCATIONS INDICATED, PROVIDE TEMPERED GLASS IN THE FOLLOWING LOCATIONS.</p> <p>A. WITHIN A 24-INCH RADIUS OF DOOR JAMBS.
 B. IN FIXED PANELS WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18-INCHES ABOVE FINISHED FLOOR LEVEL.</p> <p>14. GLAZING DESIGNATIONS:
 TG TEMPERED GLASS
 FR FIRE RATED GLASS</p> <p>15. ANCHORAGE OF WINDOWS, ALUMINUM STOREFRONT, AND CURTAIN WALL SYSTEMS TO ADJACENT STRUCTURE AS INDICATED ON DETAILS IS SHOWN ONLY FOR PURPOSES OF OBTAINING DRAWING APPROVAL FROM THE AHJ. ACTUAL ANCHORAGES ARE TO BE INDICATED ON SHOP DRAWINGS AND FULLY ENGINEERED (WITH SUPPORTING CALCULATIONS) TO PERFORMANCE REQUIREMENTS INDICATED IN PROJECT MANUAL.</p> <p>16. WINDOW HEIGHTS INDICATED ARE RELATIVE TO FINISH FLOOR ELEVATION IN WHICH WINDOW OCCURS.</p> <p>17. OPERABLE WINDOW SASH TO HAVE LIMIT DEVICE TO RESTRICT SASH OPENING SO SASH DOES NOT PROTRUDE MORE THAN 4-INCHES PAST FRONT FACE OF ADJACENT WALL, NOR ALLOW A 4-INCH DIAMETER SPHERE TO PASS THRU OPENING IN WINDOW.</p> |
|--|--|

DOOR AND WINDOW SCHEDULE REMARKS

- FRAMES INDICATED TO BE REFINISHED, CONTRACTOR SHALL: MODIFY FRAME TO RECEIVE NEW HARDWARE AND STRIP, SAND, PATCH, AND REPAINT FRAME.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR SIZES PRIOR TO CONSTRUCTION.
- UNDERCUT INTERIOR DOORS PER MECHANICAL REQUIREMENTS.

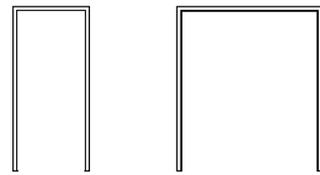
EXTERIOR DOOR SCHEDULE																
DOOR No.	DOOR					RATING	HARDWARE	PANIC	FRAME					REMARKS	DOOR No.	
	TYPE	MAT	FINISH	WIDTH	HEIGHT				TYPE	MAT	FINISH	HINGE	HEAD			STRIKE
X101	D	AL/GL-2	PTD	6' - 0"	7' - 0"	-	1.0		BB	AL	PTD				VE24-2M OR EQUAL 1-9/16" IGU (1/4"G-3/4"A-9/16LAM)	X101
X102	D	AL/GL-2	PTD	6' - 0"	7' - 0"	-	1.0		BB	AL	PTD				VE24-2M OR EQUAL 1-9/16" IGU (1/4"G-3/4"A-9/16LAM)	X102
X103	D	AL/GL-2	PTD	5' - 0"	7' - 0"	-	1.0		BB	AL	PTD				VE24-2M OR EQUAL 1-9/16" IGU (1/4"G-3/4"A-9/16LAM)	X103

INTERIOR DOOR SCHEDULE																
DOOR No.	DOOR					RATING	HARDWARE	PANIC	FRAME					REMARKS	DOOR No.	
	TYPE	MAT	FINISH	WIDTH	HEIGHT				TYPE	MAT	FINISH	HINGE	HEAD			STRIKE
104	60	SS		3' - 0"	7' - 0"	-	2.0	No								104
105	60	SS		3' - 0"	7' - 0"	-	2.0	No								105

9200 - WINDOW SCHEDULE											
WINDOW No.	TYPE	SIZE		HEAD HEIGHT	MAT	FINISH	GLAZING		RATING	WINDOW TREATMENT	REMARKS
		WIDTH	HEIGHT				THICKNESS	TYPE			
1	A	4' - 0"	6' - 0"	7' - 6"				GL-1	-		REPLACE IN KIND PER HISTORICAL REQMTS
2	A	4' - 0"	6' - 0"	7' - 6"				GL-1	-		REPLACE IN KIND PER HISTORICAL REQMTS
3	A	4' - 0"	6' - 0"	7' - 6"				GL-1	-		REPLACE IN KIND PER HISTORICAL REQMTS
4	A	9' - 6"	5' - 9"	7' - 3"				GL-1	-		REPLACE IN KIND PER HISTORICAL REQMTS

ALTERNATE FINISH SCHEDULE			
TAG	DESCRIPTION	MANUFACTURER	COMMENTS
GL-1	CLEAR VISION GLASS		REPLACE IN KIND PER HISTORICAL REQMTS
GL-2	VISION STOREFRONT GLASS LAMINATED IGUVIRACON OR EQUAL		VE24-2M OR EQUAL 1-9/16" IGU (1/4"G-3/4"A-9/16LAM)
RF-1	RESILIENT FLOORING	STONHARD	
WD-1	ENGINEERED WOOD FLOORING	PROVENZA	AFFINITY COLLECTION - ENGAGE

FRAME TYPES



AA BB

DOOR TYPES



A B C D

WINDOW TYPES



NO.	DATE	DESCRIPTION	BY	APP.
		TABLE OF REVISIONS		
		CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION		

CONSULTANT

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

DESIGNED: DATE:	APPROVED BY: SAN FRANCISCO PORT COMMISSION
DRAWN: DATE:	DATE: 10/9/2025
CHECKED: DATE:	Signed by: ACTING CHIEF HARBOR ENGINEER

APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD – TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

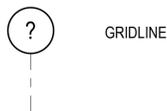
DOOR, WINDOW, & FINISH SCHEDULE - ALTERNATE

CONTRACT NO. 2894
DRAWING NO. 23989.1-49-A
SHEET NO. A.901-B
OF

DRAWING SYMBOLS:



FINISH ELEVATION DESIGNATION OF TOP OF STRUCTURAL CONCRETE. SEE PLANS FOR ELEVATION ASSOCIATED WITH DESIGNATION, TYPICAL, U.O.N.

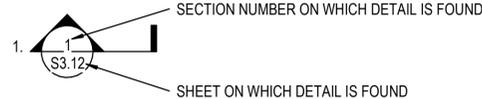


GRIDLINE



EXISTING CONCRETE IN SECTION

A. THE SYMBOLS ON PLANS TO INDICATE SECTIONS, ELEVATIONS, AND DETAILS ARE AS FOLLOWS:



ABBREVIATIONS:

&	AND	JT.	JOINT
(E)	EXISTING	LB.	POUND
(N)	NEW	LLH.	LONG LEG HORIZONTAL
@	AT	LLV.	LONG LEG VERTICAL
Φ	DIAMETER OR ROUND		
A.B.	ANCHOR BOLT	M.B.	MACHINE BOLT
ADJ.	ADJACENT	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MFR.	MANUFACTURER
		MIN.	MINIMUM
		MISC.	MISCELLANEOUS
BLDG.	BUILDING	N.	NORTH
BM	BEAM	N.I.C.	NO IN CONTRACT
BOT.	BOTTOM	N.S.	NEAR SIDE
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE
		NOM.	NOMINAL
C.J.	CONSTRUCTION JOINT	NWC	NORMAL WEIGHT CONCRETE
C.P. OR C.J.P.	COMPLETE PENETRATION	O.C.	ON CENTER
CANT.	CANTILEVER	O.D.	OUTSIDE DIAMETER
CL	CENTERLINE	O.F.	OUTSIDE FACE
CLR.	CLEAR	OH.	OPPOSITE HAND
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS		
CTR.	CENTER		
DBA.	DEFORMED BAR ANCHOR	P.P. OR P.J.P.	PARTIAL PENETRATION
DET.	DETAIL	P.Q.R.	PROCEDURE QUALIFICATION RECORD
DIA.	DIAMETER	P.S.F.	POUNDS PER SQUARE FOOT
DIM.	DIMENSION	P.S.I.	POUNDS PER SQUARE INCH
DWG.	DRAWING	P.T.	PRESSURE TREATED
		PH.	PENTHOUSE
		PL	PLATE
E.F.	EACH FACE	REINF.	REINFORCING
E.J.	EXPANSION JOINT	REQ. OR REQ'D.	REQUIRED
E.O.D.	EDGE OF DECK		
E.P.S.	EXPANDED POLYSTYRENE	S.A.D.	SEE ARCH. DRAWINGS
E.S.	EACH SIDE	S.C.D.	SEE CIVIL DRAWINGS
E.W.	EACH WAY	S.J.	SAWCUT JOINT
EA.	EACH	S.L.D.	SEE LANDSCAPE DRAWINGS
EL.	ELEVATION	S.M.D.	SEE MECH. DRAWINGS
ELEC.	ELECTRICAL	S.O.G.	SLAB ON GRADE
EMBED.	EMBEDMENT	S.S.	STAINLESS STEEL
EQ.	EQUAL	SCHED.	SCHEDULE
EQPT.	EQUIPMENT	SECT.	SECTION
EXT.	EXTERIOR	SIM.	SIMILAR
		SPEC.	SPECIFICATION
F.O.C.	FACE OF CONCRETE	SQ.	SQUARE
F.O.S.	FACE OF STUD	STD.	STANDARD
F.O.W.	FACE OF WALL	STL.	STEEL
FDN.	FOUNDATION	STRL.	STRUCTURAL
FL.	FLOOR	SYM.	SYMMETRICAL
FPRF.	FIREPROOF		
FT.	FOOT OR FEET	T&B.	TOP AND BOTTOM
FTG.	FOOTING	T.O.C.	TOP OF CONCRETE
		T.O.F.	TOP OF FOOTING
G.B.	GRADE BEAM	T.O.S.	TOP OF STEEL
GA.	GAUGE	T.O.W.	TOP OF WALL
GALV.	GALVANIZED	THK.	THICK
GR.	GRADE	TYP.	TYPICAL
H.S.B.	HIGH STRENGTH BOLT	U.O.N.	UNLESS OTHERWISE NOTED
H.S.S.	HOLLOW STRUCTURAL SECTION		
HGR.	HANGER	V.I.F.	VERIFY IN FIELD
HK.	HOOK	VERT.	VERTICAL
HORIZ.	HORIZONTAL		
HT.	HEIGHT	W.P.	WORK POINT
		W/	WITH
I.D.	INSIDE DIAMETER	WP.	WATERPROOFING
I.F.	INSIDE FACE	WT.	WEIGHT
INT.	INTERIOR		

PROJECT NAME Fisherman's Wharf Forward - Taylor St Plaza (Package B) PERMIT NO. _____

The following are the testing agencies and special inspectors that will be retained to conduct tests and inspection on this project.

Responsibility	Firm (or Registered Professional)	Address, Telephone, e-mail
1. Special Inspection (except for geotechnical)	TBD - will select from Port's current list of approved Special Inspection and Testing Agencies	
2. Geotechnical Inspections	N/A	
3. Structural Observation	Ryan Joyce Structural Design	582 Market St., Suite 1901 San Francisco, CA 94104

In accordance with Chapter 17 (PSFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|---|--|--|
| 1. <input checked="" type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. <input checked="" type="checkbox"/> Bolts installed in existing concrete or masonry: <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input checked="" type="checkbox"/> Pull/torque tests |
| 2. <input checked="" type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | |
| 3. <input type="checkbox"/> Special moment -Resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input checked="" type="checkbox"/> Shear walls and floor systems used as shear diagrams |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input checked="" type="checkbox"/> Holdowns |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input checked="" type="checkbox"/> Single pass fillet welds 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineered) | <input type="checkbox"/> Underpinning: <input type="checkbox"/> Not affecting adjacent |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Affecting adjacent property: |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior Facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1705.22) |
| <input type="checkbox"/> Reinforcing steel | 17. Not used (UMB) | 23. <input checked="" type="checkbox"/> Others: "As recommended by professional of record". Dive inspection of repaired piles as described on S.202-B |
| B. Continuous visual inspection and NDT (Section 1704) | | |
| <input checked="" type="checkbox"/> All other welding (NDT exception: Fillet | | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | | |
| <input type="checkbox"/> Moment-resisting frames | | |
| <input type="checkbox"/> Others | | |
| 24. Structural observation per Sec. 1704.6 for the following: <input type="checkbox"/> Foundations <input checked="" type="checkbox"/> Steel framing | | |
| <input checked="" type="checkbox"/> Concrete construction <input type="checkbox"/> Masonry construction <input checked="" type="checkbox"/> Wood framing | | |
| <input type="checkbox"/> Other: | | |
| 25. Certification is required for: <input type="checkbox"/> Glu-lam components | | |
| 26. <input type="checkbox"/> Firestops in high-rise building | | |

Prepared by:		Project Owner's Authorization	
Registered Design Professional in Responsible Charge (Print Name): <u>Maureen Joyce</u>		Project Owner (print name) <u>Chris Horiuchi</u>	
Signature <u>Maureen Joyce</u>	Date <u>09/19/25</u>	Signature <u>Chris Horiuchi</u>	Date <u>9/19/2025</u>

NO.	DATE	DESCRIPTION	BY	APP
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	09/19/2025	100% INTERDIVISIONAL REVIEW		
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CONSULTANT
RJSD
582 MARKET ST, SUITE 1901
SAN FRANCISCO, CA 94104
415.509.6645
WWW.RJSDDESIGN.COM

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

DESIGNED: DATE:	APPROVED BY:
MCJ 10/1/25	SAN FRANCISCO PORT COMMISSION
DRAWN: DATE:	DATE: 10/9/2025
MCJ 10/1/25	
CHECKED: DATE:	Signed by: <u>Maureen Joyce</u>
PJR 10/1/25	REGISTERED PROFESSIONAL ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

GENERAL NOTES

CONTRACT NO. 2894
DRAWING NO. 23990-49-S
SHEET NO. S.000-B
1 OF 14

GENERAL

- A. ALL DRAWINGS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- B. REFER DISCREPANCIES AND OMISSIONS IN DRAWINGS TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. DETAILS SHOWN AT SIMILAR CONDITIONS SHALL BE APPLIED AS BASIS OF CONTRACT PRICE.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF LOADS IMPOSED ON STRUCTURE DURING CONSTRUCTION AND DETERMINE REQUIREMENTS FOR TEMPORARY SHORING OF STRUCTURAL COMPONENTS, WHERE NECESSARY FOR SUPPORT OF CONSTRUCTION LOADS.
- D. EXISTING CONDITIONS AND DIMENSIONS AND ELEVATIONS SHOWN HERIN HAVE BEEN INFERRED FROM THE ORIGINAL DRAWINGS AND LIMITED FIELD INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. DO NOT USE SCALED DIMENSIONS. MINOR DISCREPANCIES BETWEEN QUANTITIES DERIVED FROM THE CONSTRUCTION DRAWINGS AND THOSE DERIVED FROM FIELD MEASUREMENETS ARE PRECLUDED FROM CHANGE ORDER CLAIMS.
- E. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUEST FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE OWNER'S REPRESENTATIVE DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING REQUESTED.

DIMENSIONS

- A. DO NOT USE SCALED DIMENSIONS. WHERE DIMENSIONS CANNOT BE ACCURATELY ESTABLISHED FROM DRAWINGS, REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED WORK.
- B. DIMENSION POINTS ARE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
 1. TYPICAL: CENTERLINE.
 2. WALLS: FACE OF CONCRETE OR STUDS.
 3. FLAT FRAMING: TOP OF WOOD OR TOP OF CONCRETE.

DESIGN CRITERIA

- A. APPLICABLE CODE: 2022 CALIFORNIA BUILDING CODE (CBC) WITH PORT OF SAN FRANCISCO AMMENDMENTS
- B. DECK LIVE LOAD: 100 PSF
- C. SEISMIC DESIGN CRITERIA

SITE LOCATION	LONG. = 37.8085N, LAT. = 122.4160W
SITE SOIL CLASS	D - DEFAULT
MAPPED MCE SPECTRAL ORDINATES	S ₀ = 1.500, S ₁ = 0.6
DESIGN (DBE) SPECTRAL ORDINATES	S _{DS} = 1.20
RISK CATEGORY	III

D. WIND DESIGN CRITERIA

BASIC WIND SPEED:	99 MPH
EXPOSURE:	D
IMPORTANCE FACTOR, I _w :	1.0

WATERPROOFING

- A. WATERPROOFING IS THE DESIGN RESPONSIBILITY OF OTHERS. FEATURES ARE SOMETIMES SHOWN ON STRUCTURAL DRAWINGS FOR REFERENCE PURPOSES ONLY. RJSJ ASSUMES NO RESPONSIBILITY FOR WATERPROOFING.

HAZARDOUS MATERIALS

- A. RJSJ ASSUMES NO RESPONSIBILITY FOR HAZARDOUS MATERIALS THAT MAY BE ON SITE. RJSJ HAS NOT PERFORMED INVESTIGATIONS TO DETERMINE THE PRESENCE OF HAZARDOUS MATERIALS AND MAKES NO RECOMMENDATIONS WITH REGARD TO THEIR PROPER HANDLING OR DISPOSAL. CONTRACTOR IS RESPONSIBLE FOR SAFETY AND ENSURING PROTECTION FOR ANYONE ON SITE FROM EXPOSURE TO HAZARDOUS MATERIALS.

CONCRETE REINFORCEMENT

- A. REINFORCING MATERIALS
 1. BARS, TYP: ASTM A615, GR 60, DEFORMED; OR ASTM A706, U.O.N.
 2. BAR REINFORCEMENT SHALL NOT BE FIELD BENT AFTER BEING EMBEDDED IN HARDENED CONCRETE.

CAST-IN-PLACE CONCRETE

- A. CONCRETE MIX (SEE SPECS FOR ADDITIONAL REQUIREMENTS):
 - a. f_c = 4,000 PSI (NORMAL WEIGHT CONCRETE)

GROUT

- A. CEMENTITIOUS UNDERWATER GROUT: COHESIVE, NON-SEGREGATING, NON-METALIC, HIGH STRENGTH GROUT DESIGNED WITH ANTI-WASHOUT ADMIXTURE, CORROSION INHIBITORS AND POLYMERS:
 - a. SIMPSON FX-225 NON-SHRINK CEMENTITIOUS UNDERWATER GROUT OR ENGINEER APPROVED EQUAL.
 - b. TEST GROUT FOR COMPRESSIVE STRENGTH IN ACCORDANCE WITH ASTM C109. TAKE 4 SPECIMENS FOR EVERY 2 HOURS OF REPAIR GROUT PLACEMENT, MINIMUM OF 6 SAMPLES.
- B. MARINE EPOXY GROUT: 100% SOLIDS, THREE-COMPONENT, MOISTURE INSENSITIVE EPOXY GROUT
 - a. SIMPSON FX-70-6MP MULTI-PURPOSE MARINE EPOXY GROUT OR ENGINEER APPROVED EQUAL.
- C. TOP SEAL EPOXY: 100% SOLIDS, TWO-COMPONENT, NON-SAG, LOW-MODULUS MOISTURE INSENSITIVE EPOXY ADHESIVE:
 - a. FX-763 TROWEL-GRADE EPOXY MIXED WITH FX-702 SILICA FILLER OR ENGINEER APPROVED EQUAL.
- D. ALL GROUT SHALL BE PLACED TO OBTAIN UNIFORM COVERAGE WITHOUT VOIDS. THE CONTRACTOR SHALL SUBMIT A GROUTING PROCEDURE FOR APPROVAL BY THE ENGINEER.

STRUCTURAL STEEL

- A. STEEL SHAPES AND PLATES
 1. PLATES AND FLAT BARS: ASTM A572, GRADE 50, U.O.N.
 2. ANGLES, CHANNELS, AND BENT PLATES: ASTM A36 OR ASTM A572 GR 50, U.O.N.
 3. TUBES, RECTANGULAR AND ROUND (HSS): ASTM A500, GRADE B.
- B. BOLTS AND RODS
 1. STANDARD ANCHOR BOLTS: ASTM F1554, GRADE 36 (GALVANIZED)
 - a. HEAD: FORM HEAD AT EMBEDDED END WITH ASTM A563, GRADE A HEAVY HEX NUT. INTERRUPT THREADS TO LOCK NUT AGAINST LOOSENING.
 - b. PLATE WASHERS (ATOP BASEPLATE): ASTM A36. SQUARE OR ROUND; MINIMUM WASHER DIMENSION SHALL BE BOLT DIAMETER PLUS 2 INCHES AND MINIMUM THICKNESS THA BE 1/3 OF BOLT DIAMETER.
 - c. NUTS: ASTM A563, GRADE A, HEAVY HEX.
 2. MACHINE BOLTS (M.B.): ASTM A307 W/ MALLEABLE IRON WASHER.
- C. WELDING
 1. ELECTRODES: E70XX
 2. WELD IN ACCORDANCE WITH ANSI/AISC 360 AND AWS D1.1 USING MANUAL SHIELDED ARC METHOD (SMAW), FLUX CORED ARC METHOD (FCAW) OR GAS SHIELDED ARC METHOD (GMAW).
 3. WELD IN ACCORDANCE WITH WELDING PROCEDURE SPECIFICATION (WPS) FOR JOINT.
- D. U.O.N., STEEL ELEMENTS AT EXTERIOR LOCATIONS ARE HOT DIPPED GALVANIZED INCLUDING CONNECTORS.

POST INSTALLED DOWELS IN CONCRETE

- A. IDENTIFY POSITION OF EXISTING REINFORCING STEEL PRIOR TO DRILLING HOLES FOR ANCHORS. DO NOT CUT EXISTING REINFORCEMENT.
- B. DRILL HOLES WITH ROTARY IMPACT HAMMER DRILLS USING CARBIDE-TIPPED BITS WITH DIAMETER AS RECOMMENDED BY ANCHOR MANUFACTURER. REDUCE IMPACT AS HOLE APPROACHES CONCRETE SURFACE AS NECESSARY TO PREVENT CRACKING AND SPALLING. HOLES SHALL BE DRILLED PERPENDICULAR TO CONCRETE SURFACE.
- C. REMOVE AND REPLACE MISPLACED OR MALFUNCTIONING ANCHORS. FILL EMPTY ANCHOR HOLES AND PATCH FAILED ANCHOR LOCATIONS WITH HIGH-STRENGTH NON-SHRINK, NONMETALLIC GROUT. ANCHORS THAT FAIL TO MEET PROOF LOAD OR INSTALLATION TORQUE REQUIREMENTS SHALL BE REGARDED AS MALFUNCTIONING.

EPOXY DOWELS

- A. EPOXY CARTRIDGE ADHESIVE:
 - HIT-RE 500-V3 ADHESIVE, HILTI, INC.
 - SET-XP EPOXY ADHESIVE, SIMPSON STRONG-TIE CO.
 - PURE 110+, DEWALT/POWERS
- B. THREADED ROD: STAINLESS STEEL TYPE 304 OR TYPE 316 WITH MATCHING NUT AND WASHER.

EXPANSION ANCHORS

- A. EXPANSION ANCHORS:
 - KWIK BOLT T22, HILTI, INC.
 - STRONG-BOLT, SIMPSON STRONG-TIE CO.
 - POWER-STUD+, DEWALT/POWERS
 - TRUBOLT+ WEDGE ANCHOR, ITW RED HEAD
- B. DRILL HOLES DESIGNATED NOMINAL EMBEDMENT DEPTH PLUS ONE ANCHOR DIAMETER MINIMUM. END OF HOLE SHALL BE 3/4 INCH MINIMUM CLEAR FROM CONCRETE SURFACE.

WOOD

- A. LUMBER: DOUGLAS FIR, S4S, NOMINAL SIZES AS INDICATED.
 1. 2 TO 4 INCHES THICK; 2 TO 4 INCHES WIDE: WCLIB NO. 1.
 2. 2 TO 4 INCHES THICK; 6 INCHES AND WIDER: WCLIB NO. 1 OR BETTER, S-DRY.
 3. 6 INCHES THICK; 6 INCHES AND WIDER BELOW DECK: WCLIB NO. 1.
 4. HEADERS, FRAMING ABOVE GRADE (4 INCHES AND THICKER, 6 INCHES AND WIDER: GLU-LAM SC 24F-1.8E.
 5. ALL FRAMING BELOW DECK OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED PER AWPB C2 AND AWPB LP2.
 6. STUDS, BLOCKING AND BACKING (6-INCH MAXIMUM DIMENSION): WCLIB NO. 2.
- B. DECKING: PRESSURE TREATED WCLIB NO. 2 OR BETTER OR REDWOOD CONSTRUCTION HEART.
- E. PRESSURE TREATED LUMBER AND PLYWOOD: PRESSURE TREATMENT OF WOOD PRODUCTS SHALL CONFORM TO THE REQUIREMENTS FOR THE SPECIFIED USES CATEGORY IN ACCORDANCE WITH AWPB U1.
 1. PRESURVATIVE TREAT ALL WOOD FRAMING AND PLYWOOD WALL SHEATHING, USE CATEGORY UC2.
 2. KILN DRY TREATED LUMBER TO 19% AND PLYWOOD TO 15% MOISTURE CONTENT AFTER TREATMENT.
- F. STEEL FASTENERS SHALL BE PER CBC SECTION 2304.10.5. HOT DIP GALVANIZE ALL FASTENERS IN ACCORDANCE WITH ASTM A153.
- G. NAILS: ASTM F1667 AND CBC SECTION 2302.6. NAIL SIZES INDICATED ON DRAWINGS ARE COMMON NAILS. NAILS SHALL NOT BE DRIVEN CLOSER TOGETHER THAN 1/2 OF THEIR LENGTH NOT CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 OF THEIR LENGTH. THE PENETRATION OF THE NAIL INTO THE PIECE RECEIVING THE POINT SHALL NOT BE LESS THAN 1/2 THE NAIL LENGTH.
- H. FRAMING CONNECTORS: DESIGNATIONS SHOWN ON THE DRAWINGS REFER TO PRODUCTS OF SIMPSON STRONG-TIE COMPANY. PRODUCTS OF OTHER MANUFACTURERS THAT HAVE CURRENT ICC EVALUATION SERVICE APPROVED LOAD VALUES SIMILAR TO DESIGNATED PRODUCTS SHALL BE ACETTPABLE.
- I. BOLTS AND ANCHOR BOLTS: ASTM A307, GRADE A, HEX HEAD BOLTS WITH MATCHING NUTS. FURNISH WITH ASTM F844 FLAT WASHERS WHERE HEAD OR NUT BEARS AGAINST WOOD. HOLE SIZE IN WOOD SHALL BE BOLT DIAMETER PLUS 1/16 INCH.
- J. LAG BOLTS: ANSI/ASME B18.2.1: FURNISH WITH ASTM F844 FLAT WASHERS WHERE HEAD BEARS AGAINST WOOD.
- K. WOOD SCREWS: ANSI/ASME B18.6.1.
- K. THREADED ROD: ASTM A36 OR SAE 1018 CONTINUOUSLY THREADED MILD STEEL ROD.

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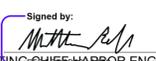


PORT OF SAN FRANCISCO

DEPARTMENT OF ENGINEERING



10/1/25
No. 55068
REGISTERED PROFESSIONAL ENGINEER
STRUCTURAL
STATE OF CALIFORNIA

DESIGNED: DATE:	APPROVED BY:
MCJ 10/1/25	SAN FRANCISCO PORT COMMISSION
DRAWN: DATE:	DATE: 10/9/2025
MCJ 10/1/25	Signed by:
CHECKED: DATE:	
PJR 10/1/25	ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

GENERAL NOTES

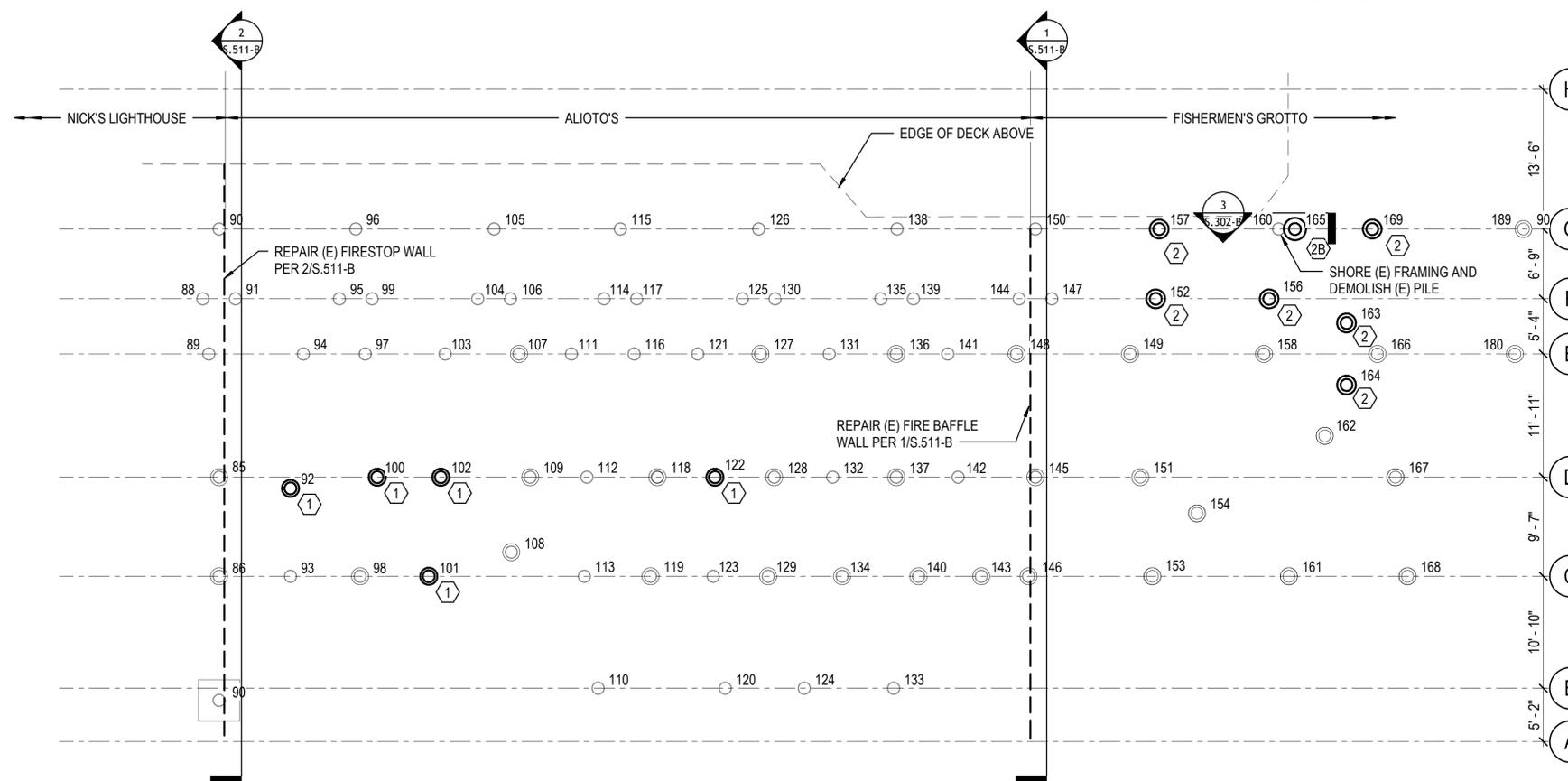
CONTRACT NO. 2894
DRAWING NO. 23991-49-S
SHEET NO. S.001-B
2 OF 14

SHEET NOTES:

1. (E) PILES ARE BASED ON LIMITED FIELD INVESTIGATIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE SEOR OF ANY CONFLICTS.
2. CONTRACTOR TO REPAIR ALL DETERIORATED PILES NOTED ON PLAN TO REQUIRE REPAIR.
3. CONTRACTOR TO PROVIDE UNIT PRICE FOR PILE REPAIR WITH BID FOR BOTH PILE REPAIR TYPES 1 AND 2 IN THE EVENT ANY ADDITIONAL PILES ARE DETERMINED TO REQUIRE REPAIR.
4. ACCESS TO THE DECK OF THE GROTTO ABOVE PILES NOTED TO RECEIVE PILE REPAIR TYPE 2 AND 2B IS CURRENTLY LIMITED DUE TO THE CURRENT PILE CONDITIONS. CONTRACTOR RESPONSIBLE FOR CONSTRUCTION LOADING OF THE DECK, AND THE STATED DECK LIVE LOAD ON S.001-B IS ONLY APPLICABLE AFTER PILES ARE REPAIRED.
5. SPECIAL INSPECTION OF PILE REPAIRS:
 - A. SPECIAL INSPECTION OF PILE REPAIR WORK LOCATED ABOVE WATER TO BE PERFORMED PER STANDARD PRACTICE TO MEET CBC REQUIREMENTS. SPECIAL INSPECTION OF PILE REPAIR WORK BELOW WATER SHALL BE CONDUCTED IN ACCORDNCE WITH THE FOLLOWING:
 - B. SPECIAL INSPECTION BELOW WATER TO BE PERFORMED BY PREQUALIFYING A SPECIFIC INDIVIDUAL DIVER (PILE REPAIR DIVER) WHO PERFORMS THE UNDERWATER CONSTRUCTION ACTIVITIES. CONTRACTOR TO PROVIDE UNDERWATER VIDEO FOOTAGE OF PILE PREPARATION BELOW WATER LINE FOR FIRST PILE OF PILE REPAIR TYPE 2. SPECIAL INSPECTOR TO REVIEW VIDEO FOOTAGE OF PREPARATION AND DISCUSS WITH PILE REPAIR DIVER PRIOR TO PLACEMENT OF REINFORCING STEEL.
 - C. CONTRACTOR TO PROVIDE UNDERWATER VIDEO FOOTAGE OF REINFORCING STEEL PLACEMENT BELOW WATER LINE FOR FIRST PILE OF PILE REPAIR TYPE 2. SPECIAL INSPECTOR TO REVIEW VIDEO FOOTAGE AND DISCUSS WITH PILE REPAIR DIVER PRIOR TO PLACEMENT OF REPAIR GROUT.
 - D. PILE REPAIR DIVER WILL BE PREQUALIFIED FOR ALL PILE REPAIR TYPES ONCE SPECIAL INSPECTOR IS SATISFIED THAT THE DIVER UNDERSTANDS THE PROJECT REQUIREMENTS AND IS CAPABLE OF ACHIEVING THEM AS DEMONSTRATED ON PILE REPAIR TYPE 2.
 - E. PERIODIC SPECIAL INSPECTION OF PILE REPAIR WORK BELOW WATER THAT HAS BEEN PERFORMED BY A PREQUALIFIED PILE REPAIR DIVER SHALL THEREAFTER BE DONE BY DISCUSSING THE PROGRESS OF THE WORK WITH THE PREQUALIFIED DIVER IN COMBINATION WITH STANDARD SPECIAL INSPECTION OF THE REMAINDER OF THE PILE REPAIR WORK ABOVE THE WATER LINE. IF THESE DISCUSSIONS UNCOVER ISSUES OR QUESTIONS THEN ADDITIONAL VIDEO FOOTAGE MAY BE REQUIRED TO RESOLVE THEM.
 - F. CONTINUOUS SPECIAL INSPECTION OF GROUT INSTALLATION SHALL BE PERFORMED FROM ABOVE WATER USING STANDARD INSPECTION PRACTICES.
 - G. IF A PILE REPAIR DIVER MUST BE REPLACED, OR IF ADDITIONAL PILE REPAIR DIVERS ARE NEEDED THEN EACH PILE REPAIR DIVER SHALL BE PREQUALIFIED AS DESCRIBED ABOVE. IF SITE CONDITIONS VARY FROM THOSE PRESENT DURING THE PREQUALIFICATION PROCESS SUCH THAT THE SPECIAL INSPECTOR CANNOT BE CONFIDENT THAT THE PILE REPAIR WORK BELOW WATER MEETS THE PROJECT REQUIREMENTS THEN THE PILE REPAIR DIVER(S) SHALL BE REQUALIFIED UNDER THE NEW CONDITIONS.

LEGEND:

- INDICATES (E) HDPE WRAPPED TIMBER PILE
- ⊙ INDICATES (E) TIMBER PILE ENCASED IN (E) REPAIR JACKET
- ⊙
XX X INDICATES (E) TIMBER PILE TO BE REPAIRED
- ASSUMED PILE REPAIR TYPE
1: INDICATES PILE REPAIR PER 1/S.301-B
2: INDICATES PILE REPAIR PER 1/S.302-B
2B: INDICATES PILE REPAIR PER 1/S.302-B
- PILE NUMBER FOR REFERENCE



1 PILE REPAIR PLAN
S.202-B
1/8" = 1'-0"

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PORT OF SAN FRANCISCO
 DEPARTMENT OF ENGINEERING

10/1/25
 No. S5068
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA

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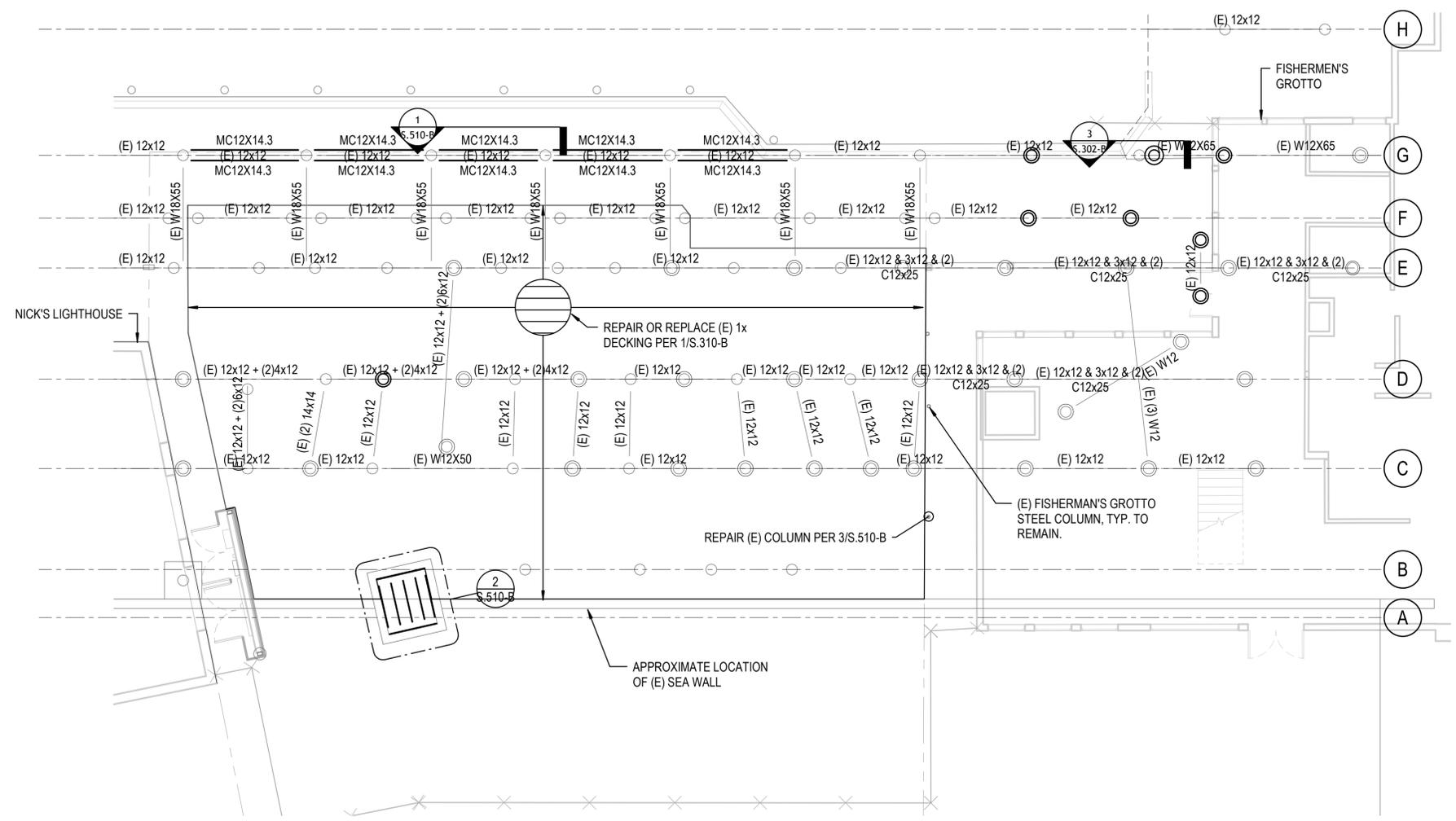
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 ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
PILE REPAIR PLAN

CONTRACT NO. 2894
 DRAWING NO. 23992-49-S
 SHEET NO. S.202-B
 3 OF 14

SHEET NOTES:

- (E) DECK FRAMING IS BASED ON LIMITED FIELD INVESTIGATIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE SEOR OF ANY CONFLICTS.



1 DECK REPAIR PLAN PACKAGE B
S.203-B 1/8" = 1'-0"

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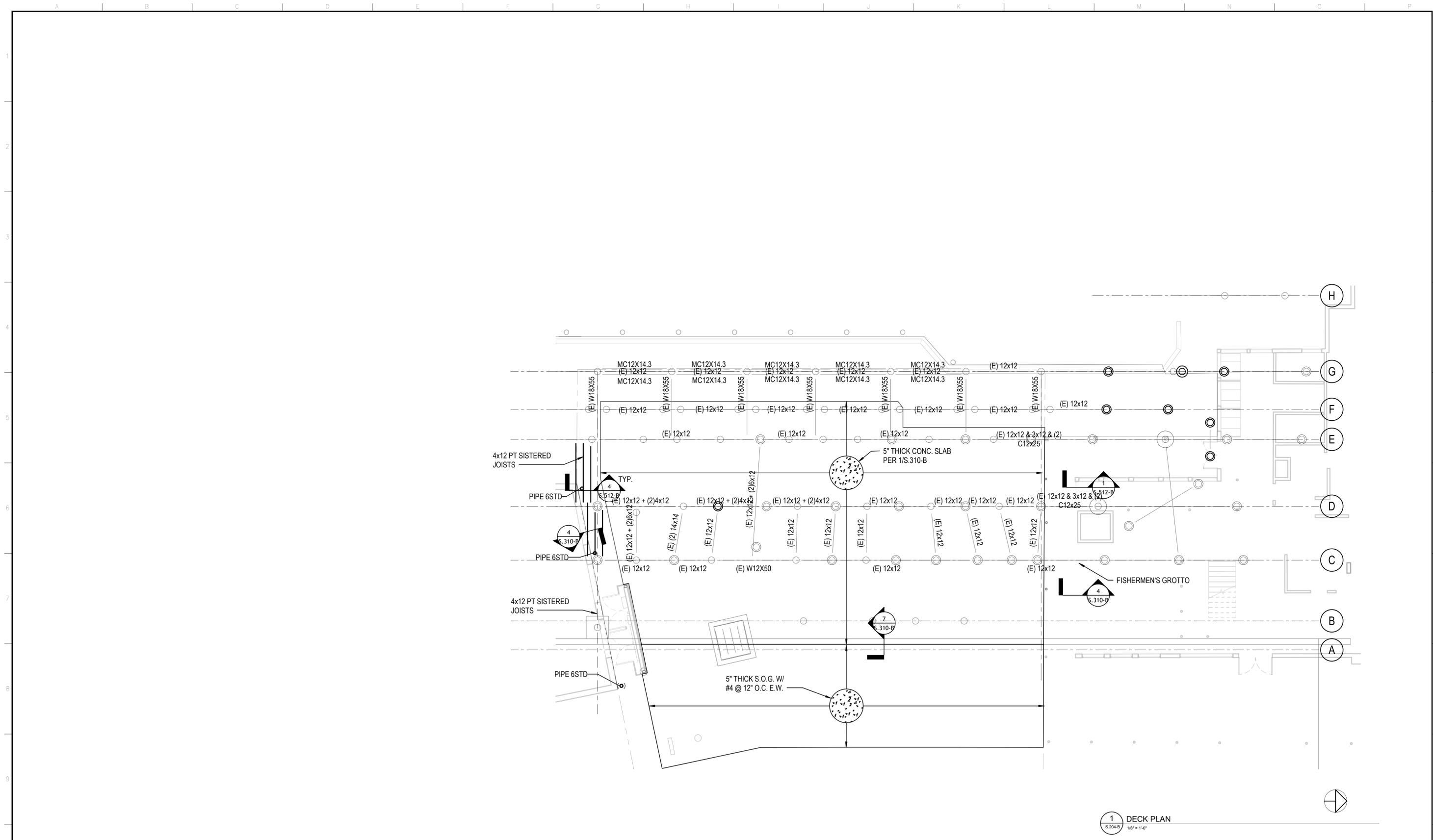
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DATE: 10/9/2025

Signed by: *Matthew J. Jones*
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
DECK REPAIR PLAN

CONTRACT NO. 2894
DRAWING NO. 23993-49-S
SHEET NO. **S.203-B**
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1 DECK PLAN
S.204-B
1/8" = 1'-0"

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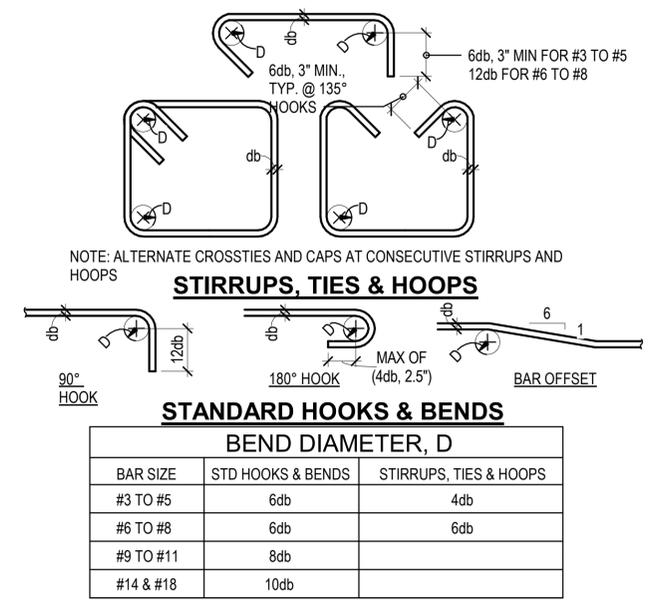
APPROVED BY
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DATE: 10/9/2025

Signed by: *Matthew J. McJannet*
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

DECK PLAN

CONTRACT NO. 2894
DRAWING NO. 23994-49-S
SHEET NO. **S.204-B**
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BEND DIAMETER, D		
BAR SIZE	STD HOOKS & BENDS	STIRRUPS, TIES & HOOPS
#3 TO #5	6db	4db
#6 TO #8	6db	6db
#9 TO #11	8db	
#14 & #18	10db	

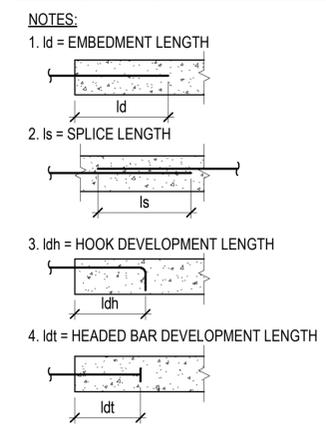
MINIMUM CONCRETE COVER FOR REINFORCING STEEL (FROM SURFACE OF CONCRETE TO SURFACE OF STEEL)	
SURFACE CAST AGAINST EARTH (EXCEPT SLAB ON GRADE)	3"
SURFACE EXPOSED TO EARTH OR WEATHER	
#6 AND LARGER BAR	2"
#5 AND SMALLER BAR OR WWF	1-1/2"
ARCHITECTURAL CONCRETE	2"
NOTE: COVER MAY BE REDUCED TO 1" MIN. WHERE BARS CROSS REVEALS 2 1/2" OR LESS WIDE.	
SURFACE NOT EXPOSED TO EARTH OR WEATHER	
STRUCTURAL SLAB OR WALLS	
#7 AND LARGER BAR	1-1/2"
#6 AND SMALLER BAR OR WWF	1"
BEAM TO STIRRUPS	1-1/2"
COLUMN TO SPIRAL OR TIE	1-1/2"
SHOTCRETE WALL AT FORMED FACE	2"

6 REINFORCING HOOKS & BENDS
S.300-B 1:1

2 CONCRETE PROTECTION FOR REINFORCING STEEL
S.300-B 1:1

CONCRETE REINFORCEMENT DEVELOPMENT LENGTHS & SPLICES (inches)

STEEL (KSI)	BAR LOCATION	CONCRETE		BAR SIZE																																			
		STRENGTH (PSI)	TYPE	#3				#4				#5				#6				#7				#8				#9				#10				#11			
				ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt	ld	ls	ldh	ldt				
60	TOP	4,000	NWC	20	25	8	6	25	33	10	8	32	41	12	10	38	49	15	12	55	71	17	14	63	81	19	16	71	91	22	18	80	103	25	20	88	114	27	22
	OTHER	4,000	NWC	15	19	8	6	19	25	10	8	24	31	12	10	29	37	15	12	42	54	17	14	48	62	19	16	54	70	22	18	61	79	25	20	67	87	27	22



- TOP BARS ARE BARS WITH 12 INCHES OR MORE CONCRETE PLACED BELOW.
- HOOK EMBEDMENT LENGTHS MAY BE MULTIPLIED BY 0.7 WHERE SIDE COVER IS 2-1/2" OR GREATER AND FOR 90 DEGREE HOOKS THE COVER ON THE BAR EXTENSION IS 2" OR GREATER.
- CLEAR COVER ON BARS SHALL BE 1 BAR DIA. MIN, AND CLEAR SPACING BETWEEN BARS SHALL BE 2 BAR DIA. MIN.
- CLEAR SPACING OF HEADED BARS SHALL BE 4 BAR DIA. MIN.
- WHEN SPLICING BARS OF DIFFERENT SIZE, LAP SPLICE LENGTH OF LARGER BAR SHALL APPLY.
- MULTIPLY THE ABOVE LENGTHS BY 1.5 FOR EPOXY COATED REINFORCEMENT.
- SPLICES SHALL BE CONTACT LAP SPLICES, EXCEPT WHERE NONCONTACT SPLICES ARE INDICATED ON DRAWINGS OR PERMITTED BY SEOR. CLEAR COVER AND SPACING PER NOTE 7 APPLY TO SPLICES. STAGGER LAP SPLICES AS REQ'D TO ACHIEVE MIN. CLEAR SPACING. AT NONCONTACT LAP SPLICES CENTER TO CENTER SPACING OF BARS SHALL BE 1 1/2 INCHES MIN, 1/5TH LAP SPLICE LENGTH, 6 INCHES MAX.

1 REINFORCING BAR EMBEDMENT AND SPLICE LENGTHS
S.300-B 3/4" = 1'-0"

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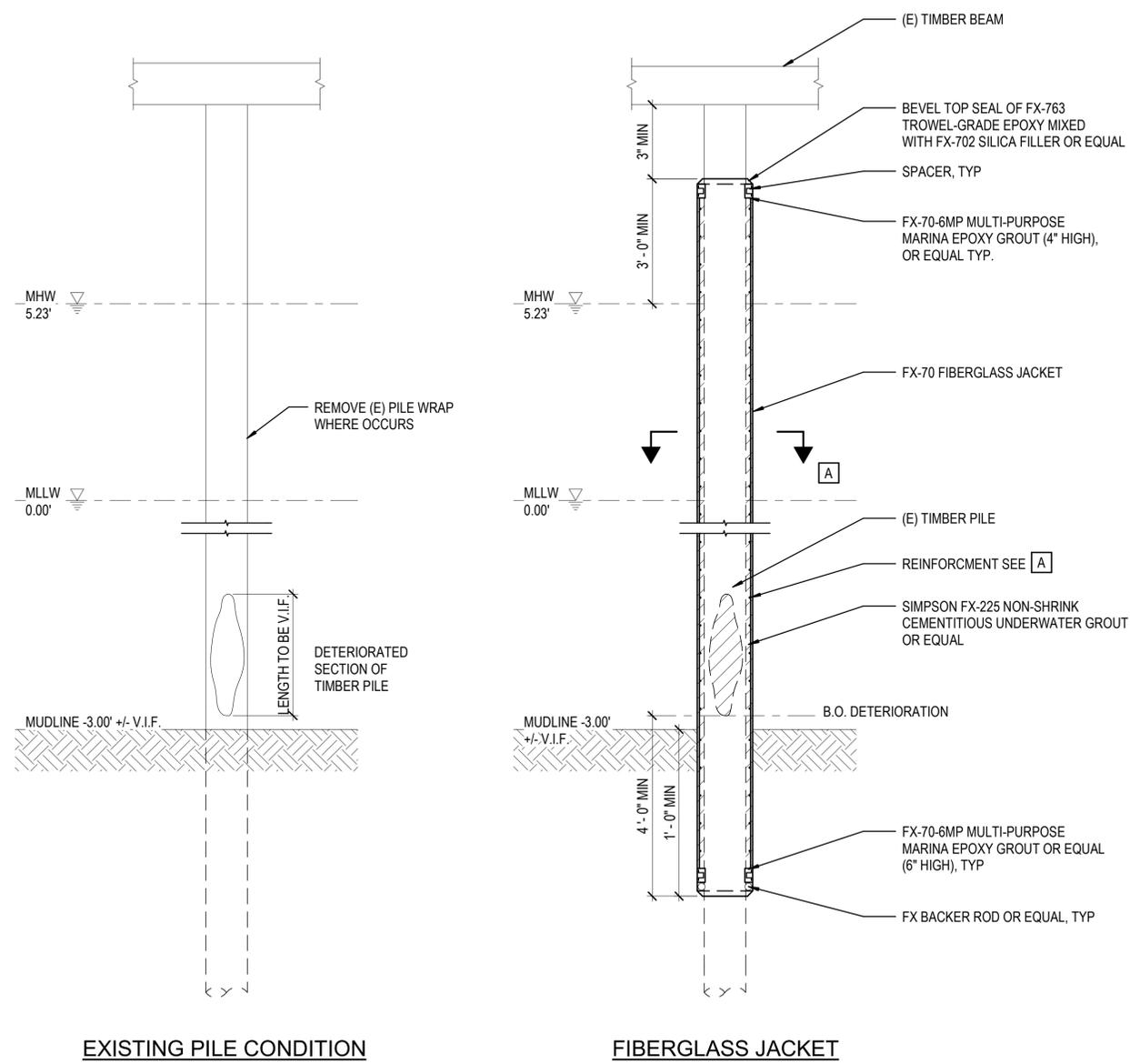
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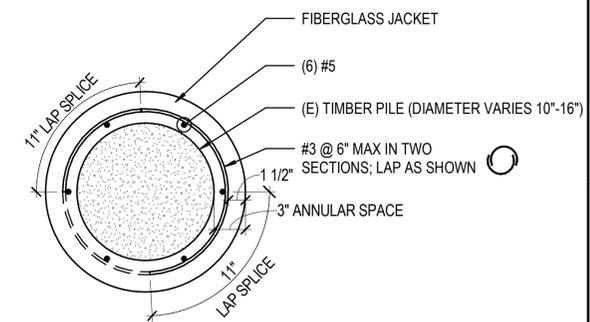
FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

TYPICAL CONCRETE DETAILS

CONTRACT NO. 2894
DRAWING NO. 23996-49-S
SHEET NO. **S.300-B**
7 OF 14



- NOTES**
- TIMBER PILINGS INDICATED FOR REPAIR ON PLAN SHALL BE REPAIRED WITH SIMPSON FX-70 SYSTEM OR ENGINEER APPROVED EQUAL, WHICH CONSISTS OF A FIBERGLASS JACKET ENCASING A STEEL REINFORCED CEMENTITIOUS GROUT FILL. INSTALL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
 - FIBERGLASS JACKET AND GROUT PORTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - MONITOR PRESSURE-INJECTION OR GRAVITY-FEED GROUT APPLICATION TO ENSURE MATERIAL DOES NOT LEAK INTO WATER.
 - EXCESS GROUT PUMPED OUT THROUGH PORTS OR JACKET OPENINGS SHALL BE COLLECTED AND REMOVED FROM WATER.
 - SPECIAL INSPECTOR TO VERIFY PILE CONSTRUCTION UNDERWATER, AND PROVIDE DOCUMENTATION BY PHOTOS OR VIDEOS.
- ORDER OF WORK:**
- REMOVE (E) PILE WRAP OVER FULL HEIGHT OF PILE.
 - MECHANICALLY (WATER BLAST / WIRE BRUSH) REMOVE GREASE, RUST, MARINE GROWTH, LOOSE AND UNSOUND WOOD, AND OTHER BOND INHIBITING MATERIALS. ALL UNSOUND WOOD IN HOLLOWED OUT SECTION OF (E) PILE TO BE REMOVED.
 - PROVIDE PATH FOR WATER TO ESCAPE VOIDS IN WOOD AS GROUT DISPLACES IT FROM BELOW. LEAVE NO POCKETS, CUT A GROOVE OR DRILL HOLE AT TOP OF INTERIOR VOIDS.
 - INSTALL FIBERGLASS JACKET AROUND PILE PER MANUFACTURER'S SPECIFICATION WITH REINFORCEMENT IN ANNULUS. GROUT SOLID. UTILIZE SPACERS TO HOLD REINFORCING STEEL IN PLACE AND FASTEN SECURELY. SPACERS MAY REMAIN IN PLACE.



1 PILE REPAIR TYPE 1 DETAIL
S.301-B 1/2" = 1'-0"

NO.	DATE	DESCRIPTION	BY	APP
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	08/22/2025	65% INTERDIVISIONAL REVIEW		
	07/25/2025	65% INTERDIVISIONAL DESIGN		
	06/25/2025	10% INTERDIVISIONAL REVIEW		

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WWW.RJSDDESIGN.COM

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PORT OF SAN FRANCISCO
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10/1/25
No. S5068
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA

DESIGNED: DATE: MCJ 10/1/25
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CHECKED: DATE: PJR 10/1/25

APPROVED BY
SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025

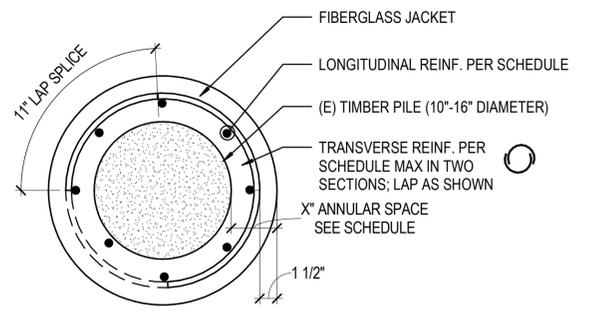
Signed by: *Matthew...*
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

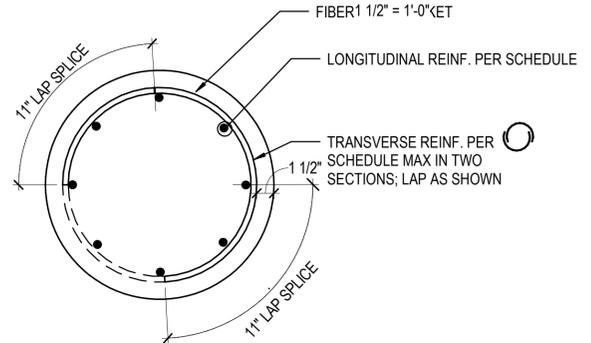
PILE REPAIR DETAILS

CONTRACT NO. 2894
DRAWING NO. 23997-49-S
SHEET NO. S.301-B
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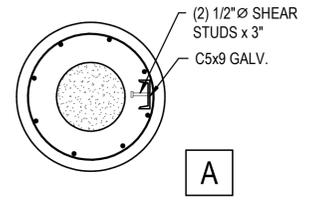
PILE REPAIR SCHEDULE			
PILE REPAIR TYPE	ANNULAR SPACE	LONGITUDINAL REINF.	TRANSVERSE REINF.
2	3"	(6) #5	#3 @ 6" O.C.
2B	7"	(8) #6	#3 @ 6" O.C.



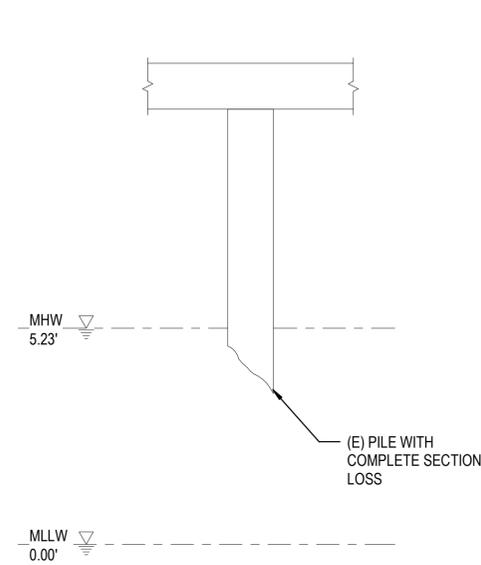
PILE PLAN WHERE (E) PILE OCCURS [A]



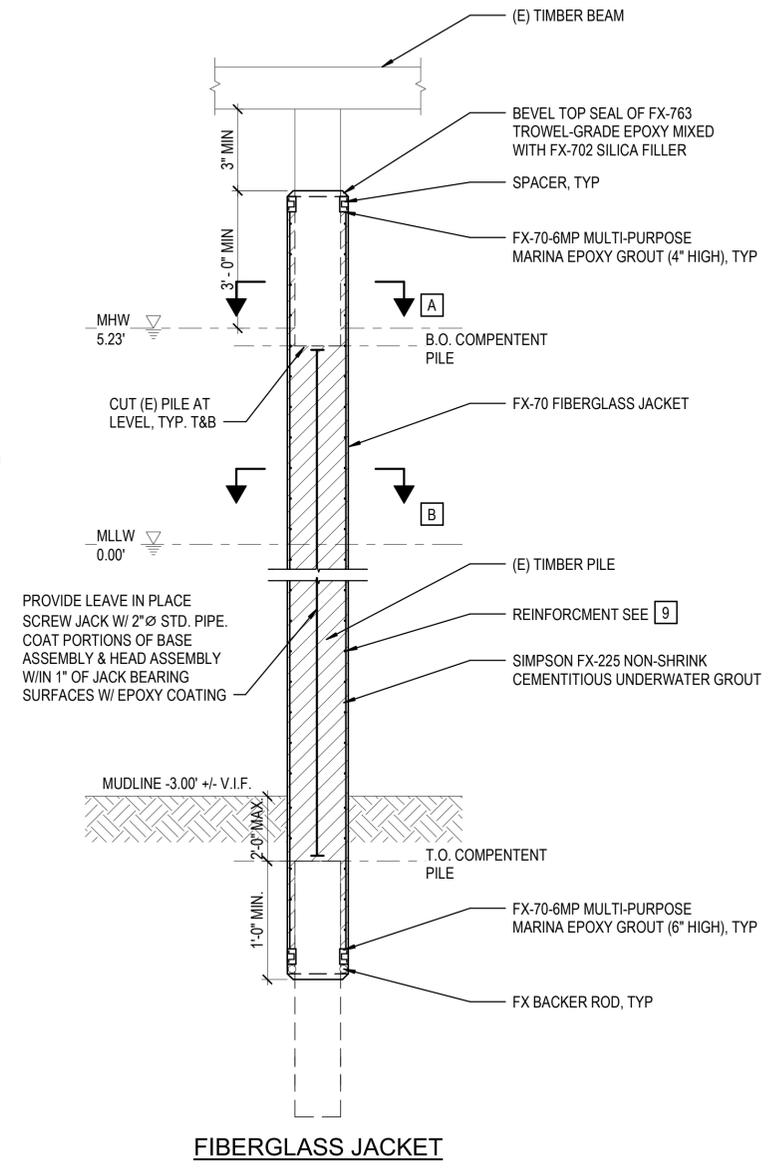
PILE PLAN WHERE (E) PILE HAS FULL SECTION LOSS [B]



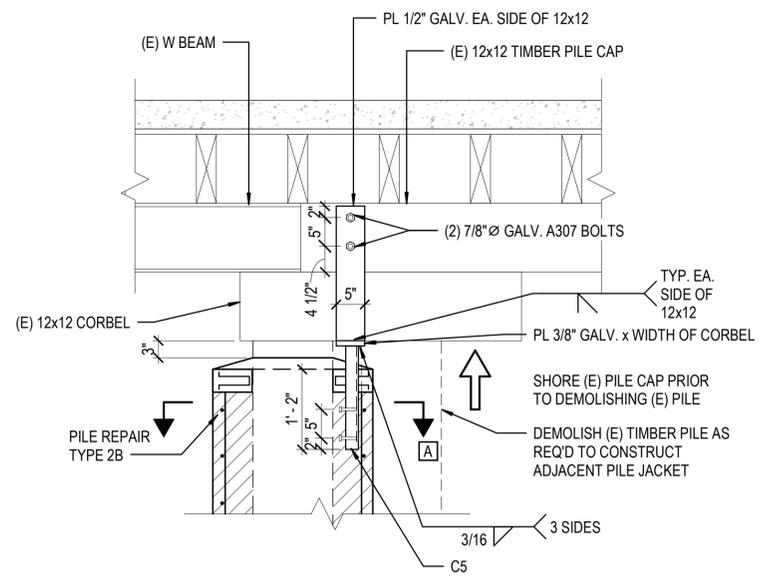
[A]



EXISTING PILE CONDITION



FIBERGLASS JACKET



3 TOP OF PILE REPAIR TYPE 2B
3/4" = 1'-0"

1 PILE REPAIR TYPE 2 AND 2B
1/2" = 1'-0"

NOTES

1. DETAIL APPLIES WHERE THERE HAS BEEN COMPLETE SECTION LOSS OF THE TIMBER PILE.
2. TIMBER PILING INDICATED FOR REPAIR ON PLAN SHALL BE REPAIRED WITH SIMPSON FX-70 SYSTEM OR ENGINEER APPROVED EQUAL, WHICH CONSISTS OF A FIBERGLASS JACKET ENCASED IN A STEEL REINFORCED CEMENTITIOUS GROUT FILL. INSTALL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
3. FIBERGLASS JACKET AND GROUT PORTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
4. MONITOR PRESSURE-INJECTION OR GRAVITY-FEED GROUT APPLICATION TO ENSURE MATERIAL DOES NOT LEAK INTO WATER.
5. EXCESS GROUT PUMPED OUT THROUGH PORTS OR JACKET OPENINGS SHALL BE COLLECTED AND REMOVED FROM WATER.

ORDER OF WORK:

1. DETERMINE DEPTH OF COMPETENT PILE BELOW MUDLINE. IF DEPTH EXCEEDS 2'-0", NOTIFY THE PORT REPRESENTATIVE.
2. DETERMINE POINT OF COMPETENT PILE TOP AND BOTTOM AND SAWCUT (E) PILE TOP AND BOTTOM LEVEL.
3. INSTALL LEAVE IN PLACE SCREW JACK AND TIGHTEN JACK TO 1400 LBS. 1/2" MAXIMUM MOVEMENT. JACK LOADING ASSUMES THE EXISTING CONCRETE DECK IS STILL IN PLACE PRIOR TO JACKING.
4. INSTALL FIBERGLASS JACKET AROUND PILE PER MANUFACTURER'S SPECIFICATION WITH REINFORCEMENT IN ANNULUS. GROUT SOLID. UTILIZE SPACERS TO HOLD REINFORCING STEEL IN PLACE AND FASTEN SECURELY. SPACERS MAY REMAIN IN PLACE.

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		65% INTERDIVISIONAL REVIEW		
		65% INTERDIVISIONAL DESIGN		

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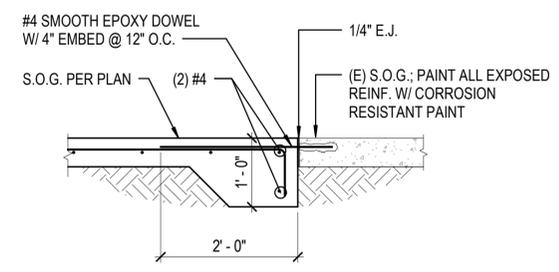
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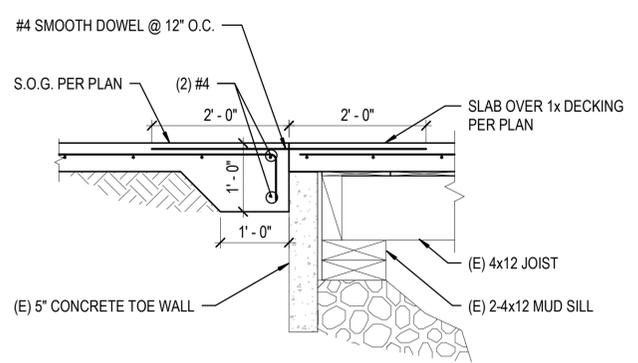
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Signed by: *Matthew J. Jones*
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
PILE REPAIR DETAILS - TYPE 2 AND 2B

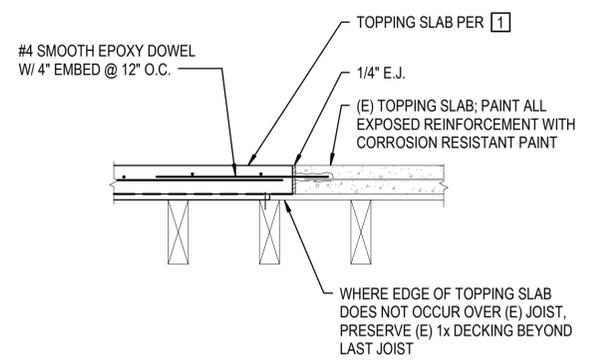
CONTRACT NO. 2894
DRAWING NO. 23998-49-S
SHEET NO. S.302-B
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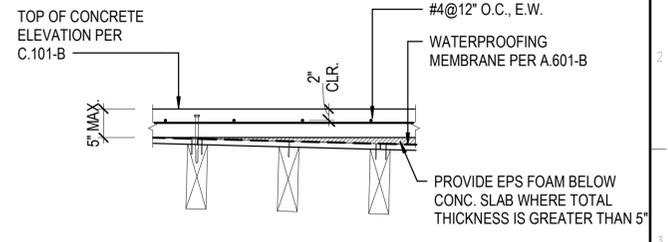
10 SOG TO (E) SOG INTERFACE
S.310-B 3/4" = 1'-0"



7 SOG AND CONCRETE DECK INTERFACE
S.310-B 3/4" = 1'-0"

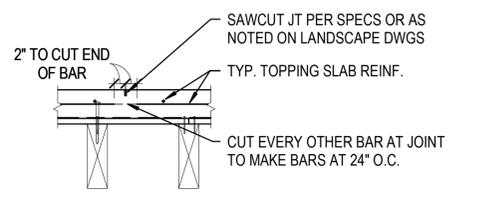


4 EDGE OF TOPPING SLAB SECTION
S.310-B 3/4" = 1'-0"

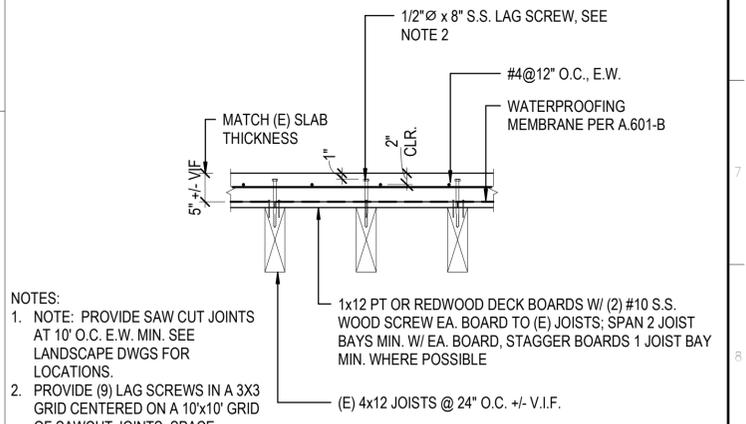


NOTE: SEE TYPICAL TOPPING SLAB FOR ALL OTHER INFO NOT NOTED.

TYPICAL TOPPING SLAB OVER FOAM



TYPICAL TOPPING SLAB SAWCUT JOINT



- NOTES:
- NOTE: PROVIDE SAW CUT JOINTS AT 10' O.C. E.W. MIN. SEE LANDSCAPE DWGS FOR LOCATIONS.
 - PROVIDE (9) LAG SCREWS IN A 3X3 GRID CENTERED ON A 10'X10' GRID OF SAWCUT JOINTS. SPACE SCREWS AT 1'-4" O.C. ALONG JOISTS IN THE JOIST PARALLEL DIRECTION AND ON ADJACENT JOISTS IN THE JOIST PERPENDICULAR DIRECTION.

TYPICAL TOPPING SLAB

1 TYPICAL DECK SECTION
S.310-B 3/4" = 1'-0"

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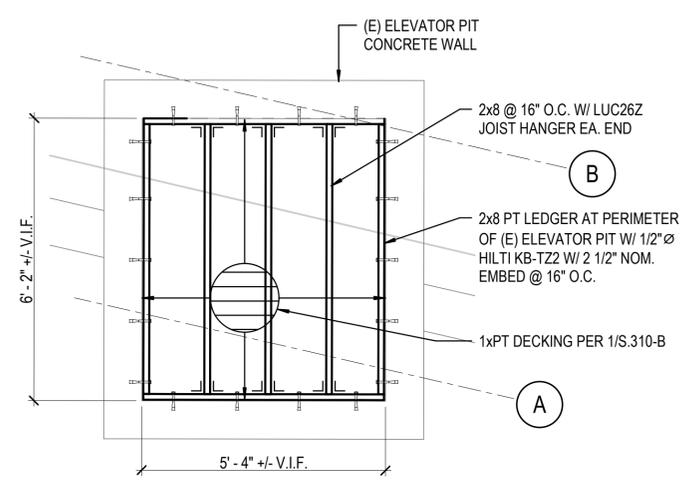
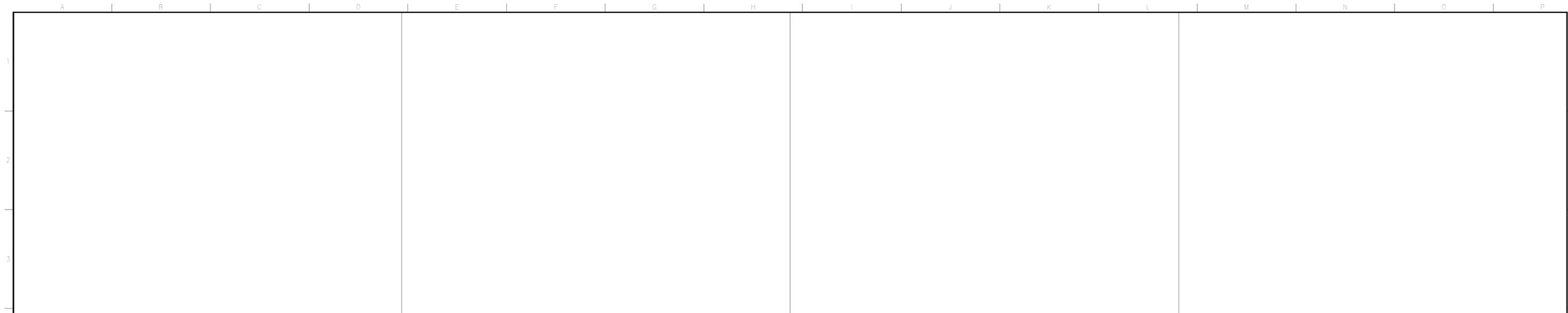
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Signed by:
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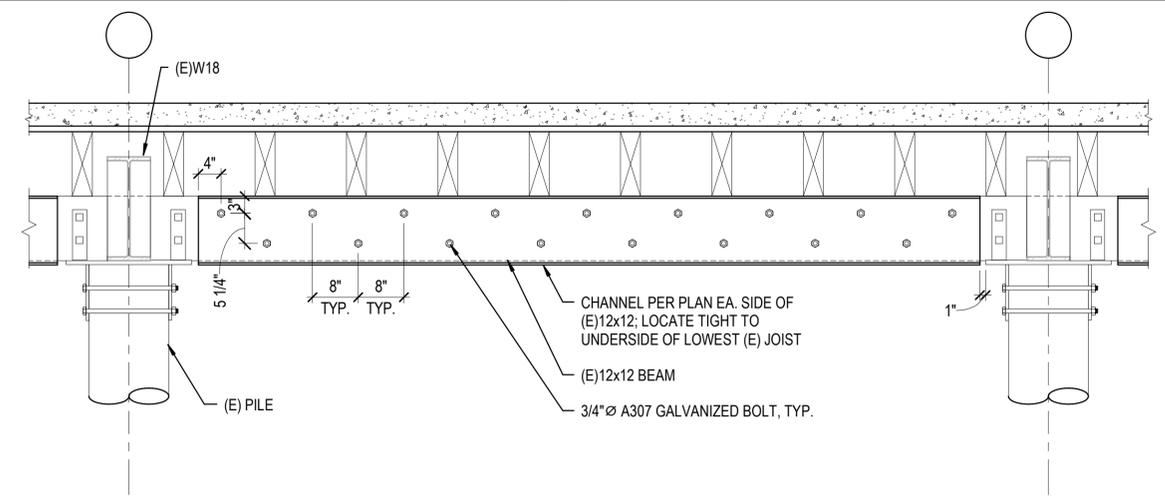
FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

DECK REPAIR DETAILS

CONTRACT NO. 2894
DRAWING NO. 23999-49-S
SHEET NO. **S.310-B**
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2 ELEVATOR PIT INFILL PARTIAL PLAN
S.510-B 1/2" = 1'-0"



1 PILE CAP BEAM STRENGTHENING
S.510-B 3/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY	APP

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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

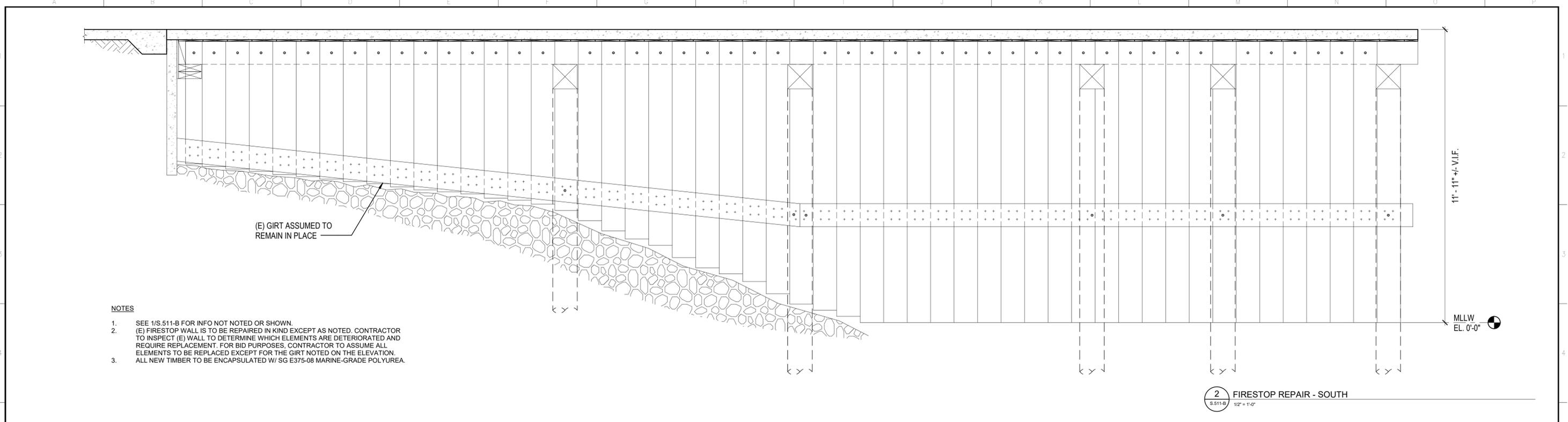
DECK REPAIR DETAILS

CONTRACT NO.
2894

DRAWING NO.
24000-49-S

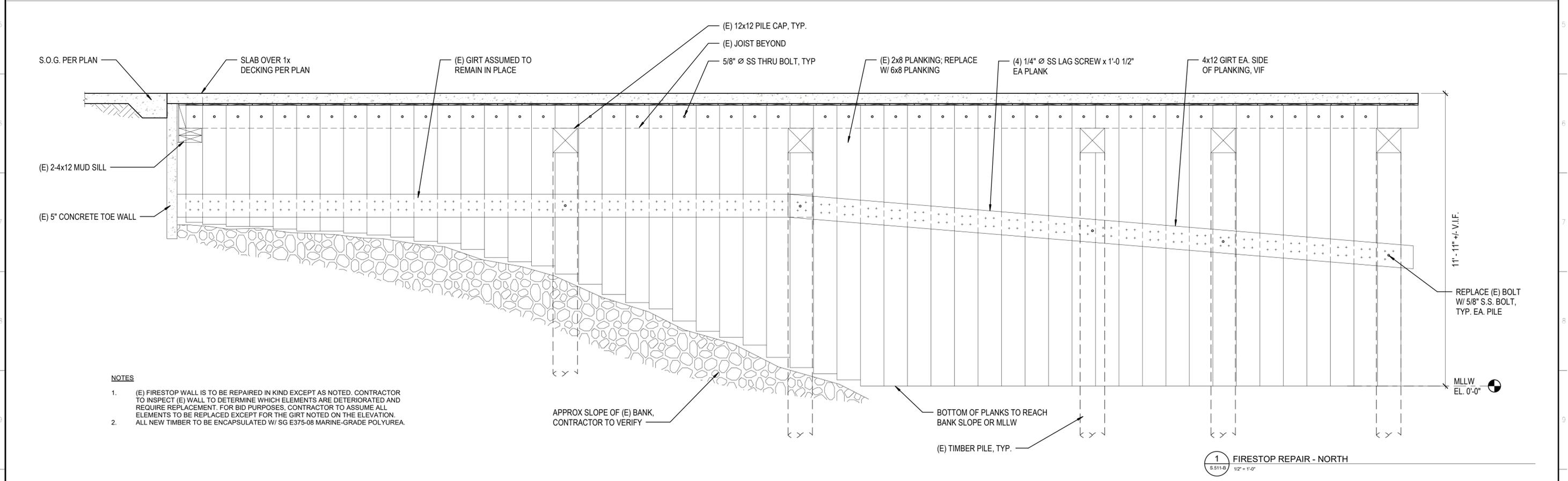
SHEET NO.
S.510-B

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- NOTES**
- SEE 1/S.511-B FOR INFO NOT NOTED OR SHOWN.
 - (E) FIRESTOP WALL IS TO BE REPAIRED IN KIND EXCEPT AS NOTED. CONTRACTOR TO INSPECT (E) WALL TO DETERMINE WHICH ELEMENTS ARE DETERIORATED AND REQUIRE REPLACEMENT. FOR BID PURPOSES, CONTRACTOR TO ASSUME ALL ELEMENTS TO BE REPLACED EXCEPT FOR THE GIRT NOTED ON THE ELEVATION.
 - ALL NEW TIMBER TO BE ENCAPSULATED W/ SG E375-08 MARINE-GRADE POLYUREA.

2 FIRESTOP REPAIR - SOUTH
S.511-B 1/2" = 1'-0"



- NOTES**
- (E) FIRESTOP WALL IS TO BE REPAIRED IN KIND EXCEPT AS NOTED. CONTRACTOR TO INSPECT (E) WALL TO DETERMINE WHICH ELEMENTS ARE DETERIORATED AND REQUIRE REPLACEMENT. FOR BID PURPOSES, CONTRACTOR TO ASSUME ALL ELEMENTS TO BE REPLACED EXCEPT FOR THE GIRT NOTED ON THE ELEVATION.
 - ALL NEW TIMBER TO BE ENCAPSULATED W/ SG E375-08 MARINE-GRADE POLYUREA.

1 FIRESTOP REPAIR - NORTH
S.511-B 1/2" = 1'-0"

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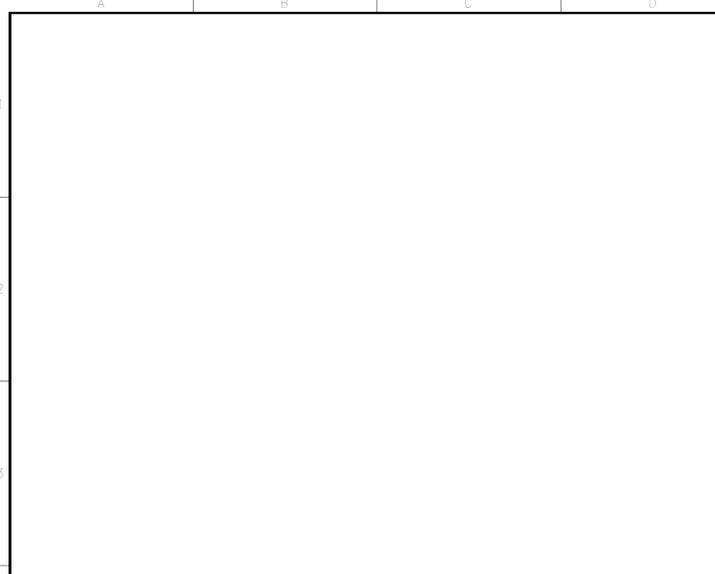
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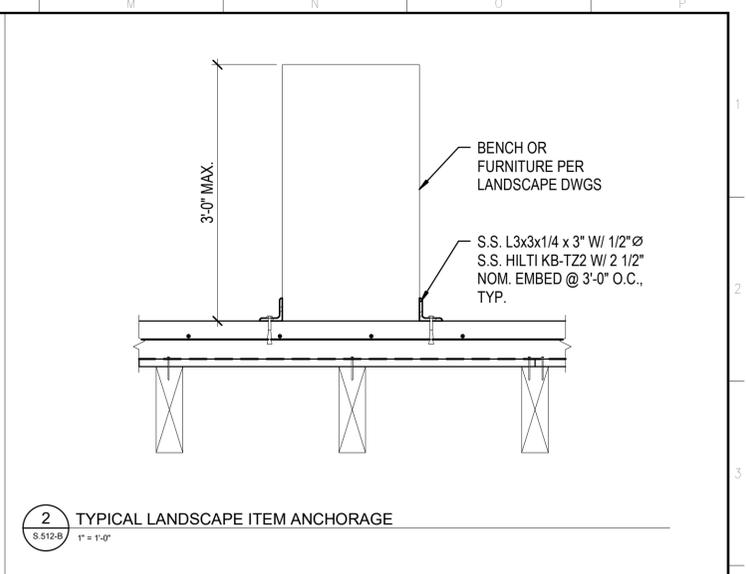
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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
FIRESTOP WALL REPAIR

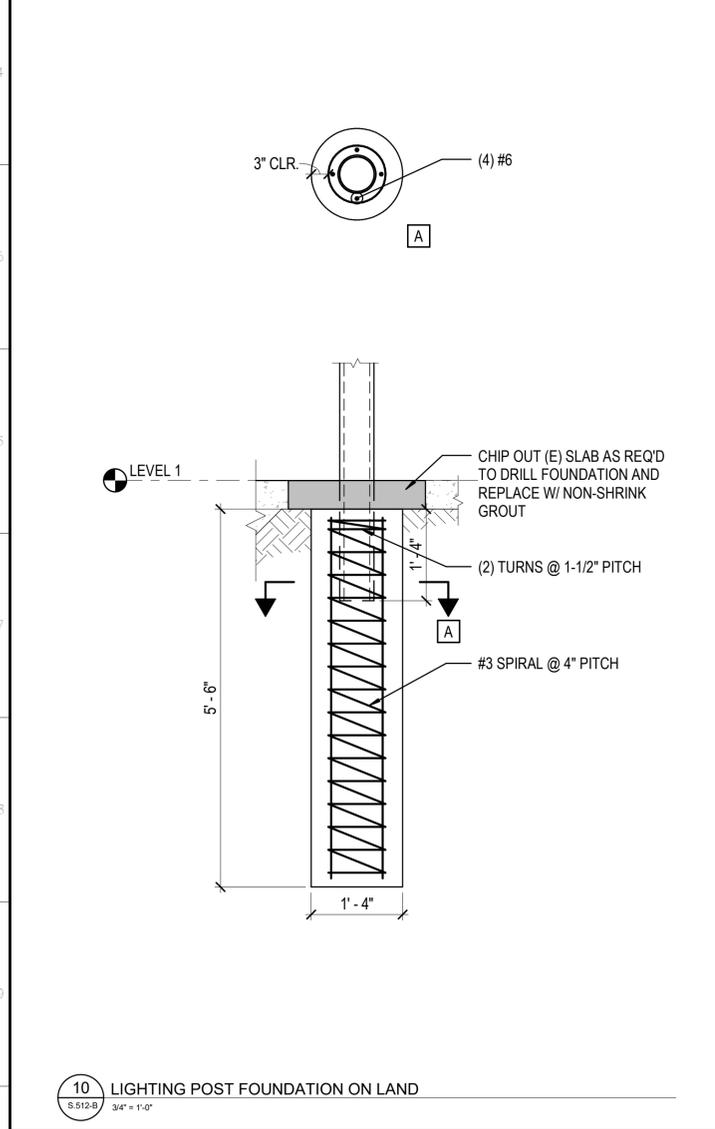
CONTRACT NO. 2894
DRAWING NO. 24001-49-S
SHEET NO. **S.511-B**
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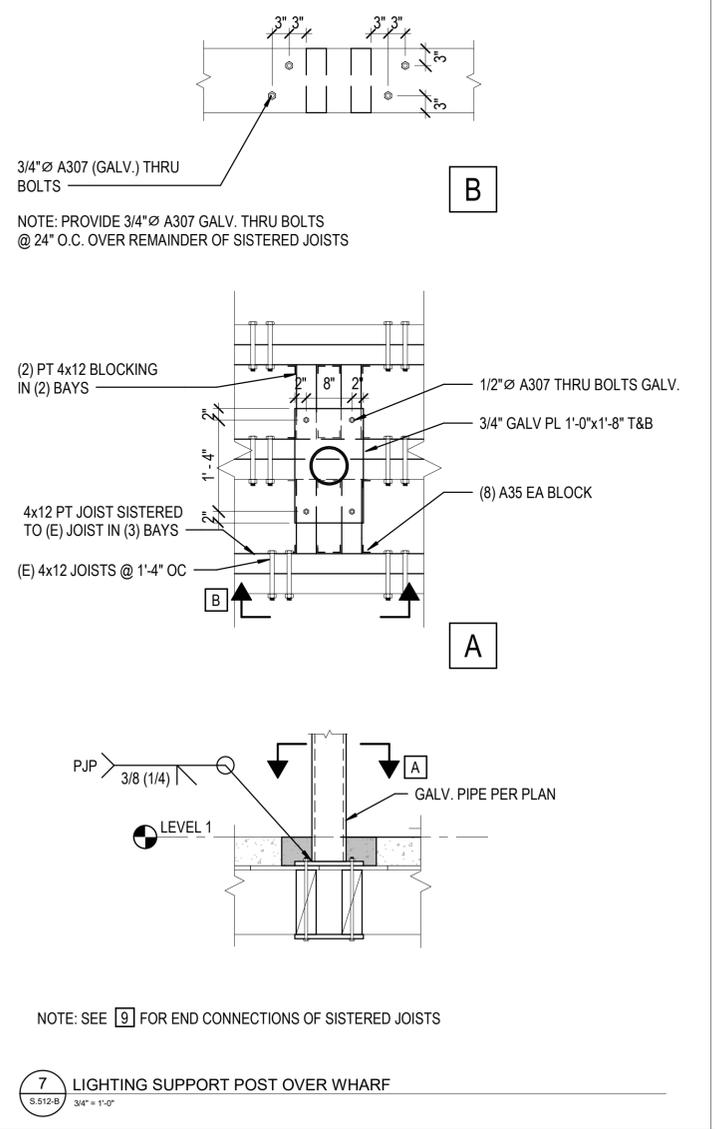
9 SISTERED JOIST CONNECTION TO (E) PILE CAPS
S.512-B 3/4" = 1'-0"



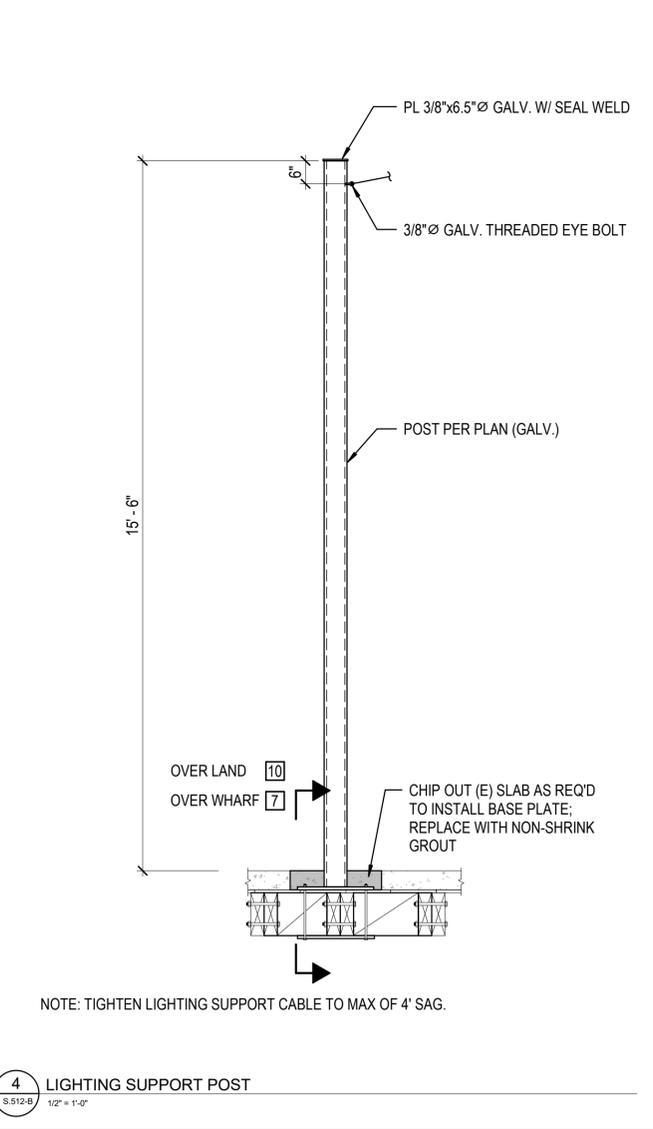
2 TYPICAL LANDSCAPE ITEM ANCHORAGE
S.512-B 1" = 1'-0"



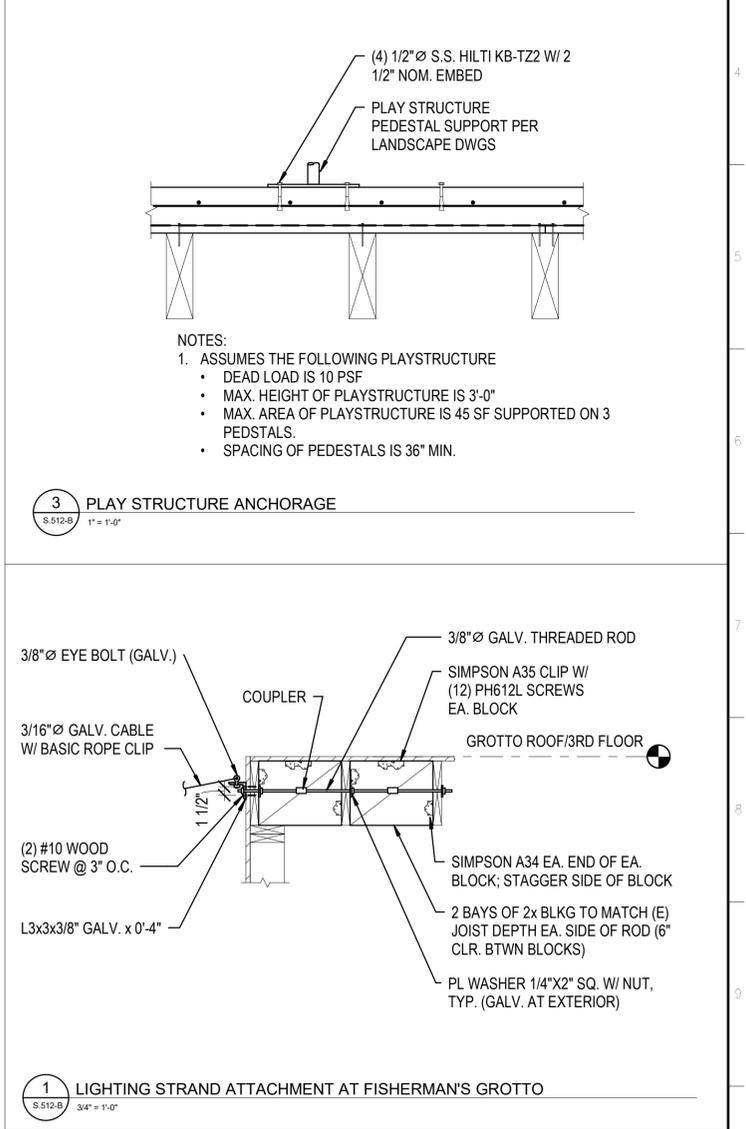
10 LIGHTING POST FOUNDATION ON LAND
S.512-B 3/4" = 1'-0"



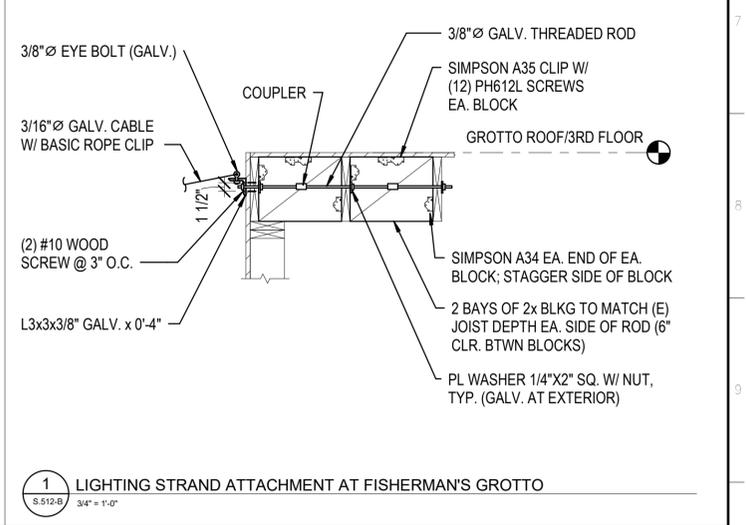
7 LIGHTING SUPPORT POST OVER WHARF
S.512-B 3/4" = 1'-0"



4 LIGHTING SUPPORT POST
S.512-B 1/2" = 1'-0"



3 PLAY STRUCTURE ANCHORAGE
S.512-B 1" = 1'-0"



1 LIGHTING STRAND ATTACHMENT AT FISHERMAN'S GROTTA
S.512-B 3/4" = 1'-0"

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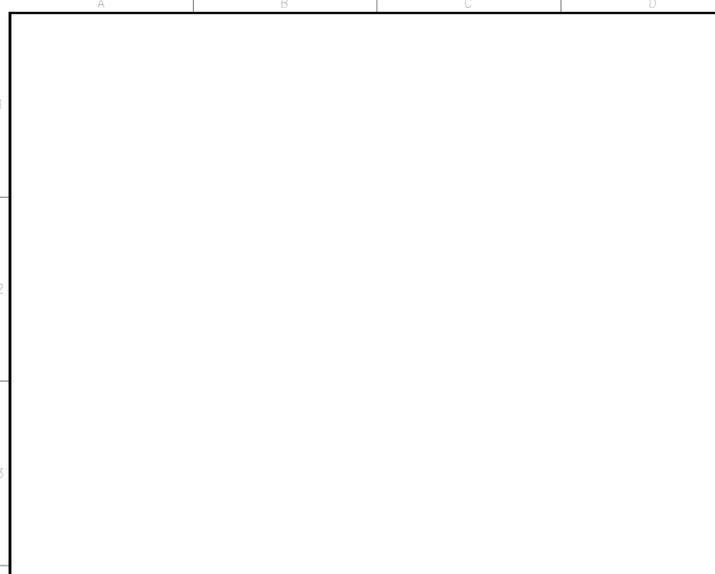
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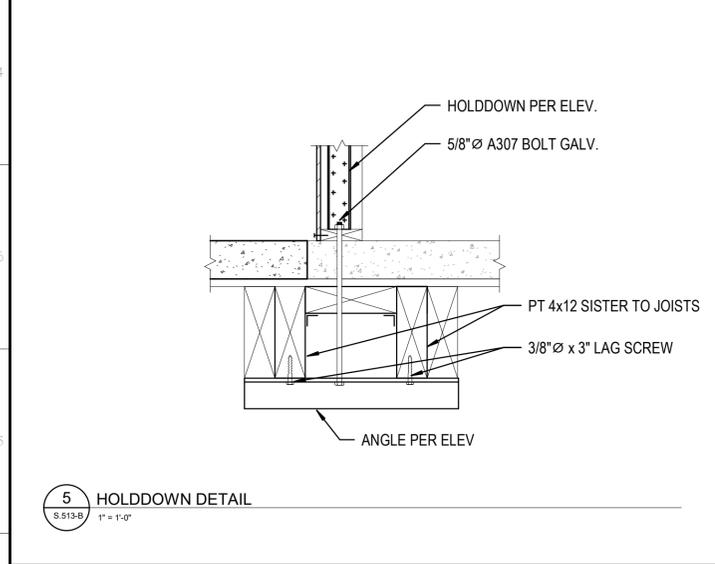
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FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
DECK DETAILS

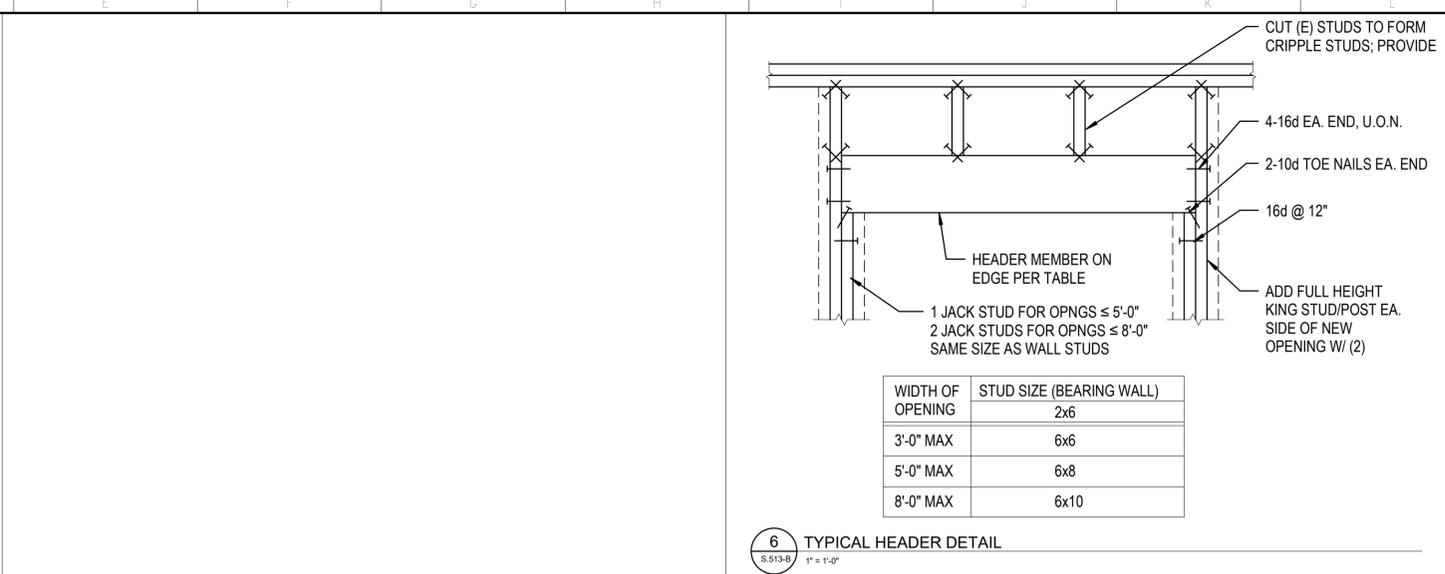
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SHEET NO. **S.512-B**
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5 HOLDDOWN DETAIL
S.513-B 1" = 1'-0"

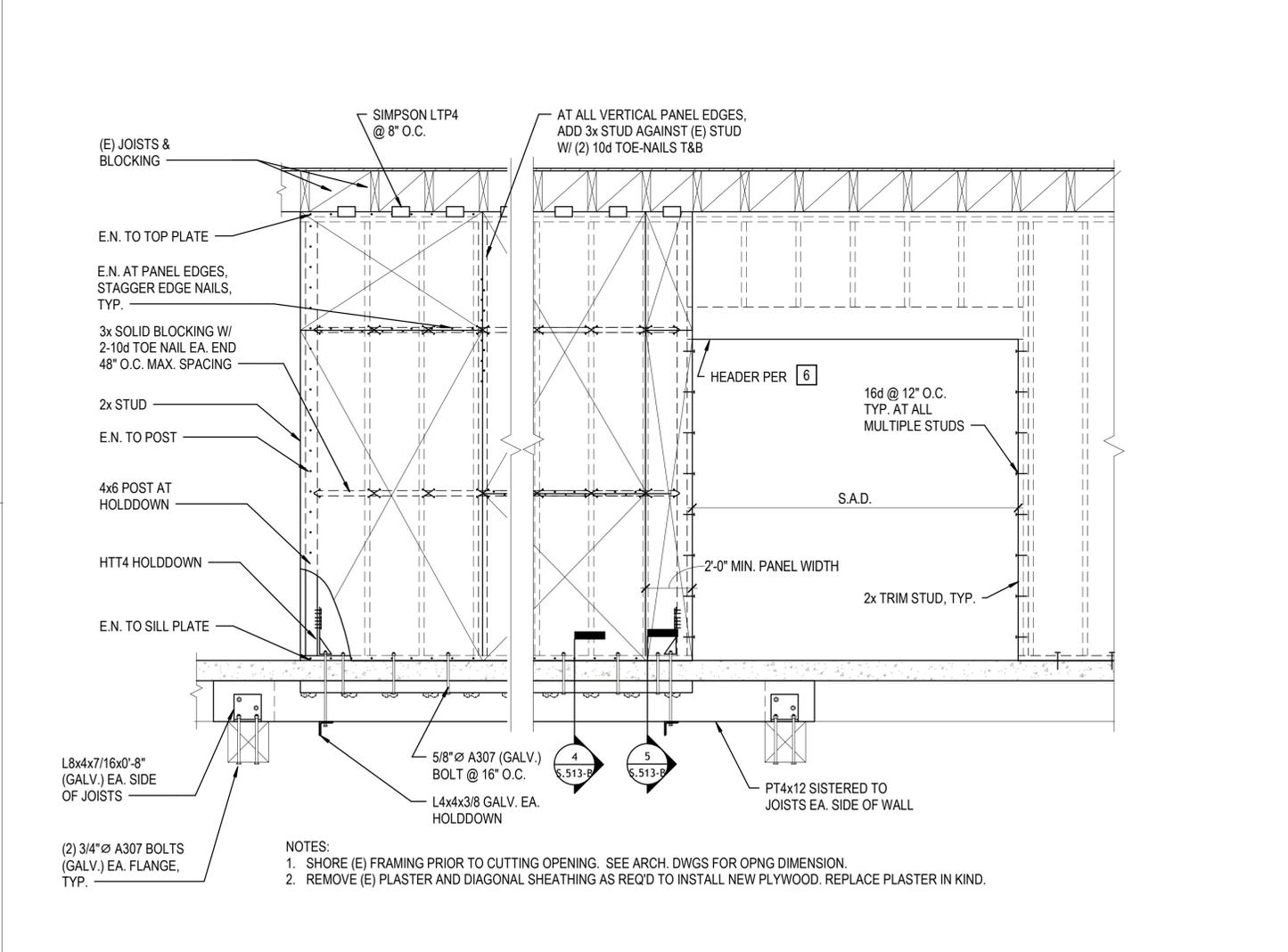


4 DETAIL
S.513-B 1" = 1'-0"



WIDTH OF OPENING	STUD SIZE (BEARING WALL)
	2x6
3'-0" MAX	6x6
5'-0" MAX	6x8
8'-0" MAX	6x10

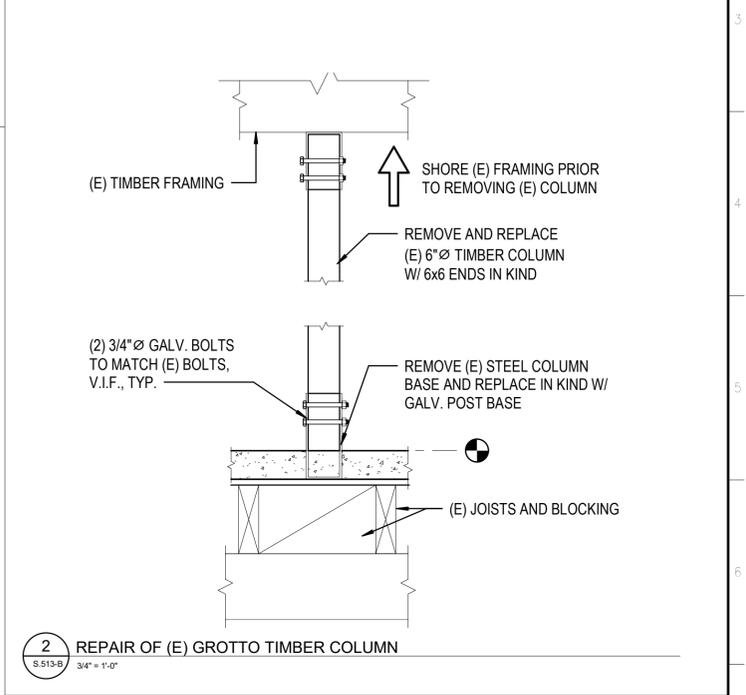
6 TYPICAL HEADER DETAIL
S.513-B 1" = 1'-0"



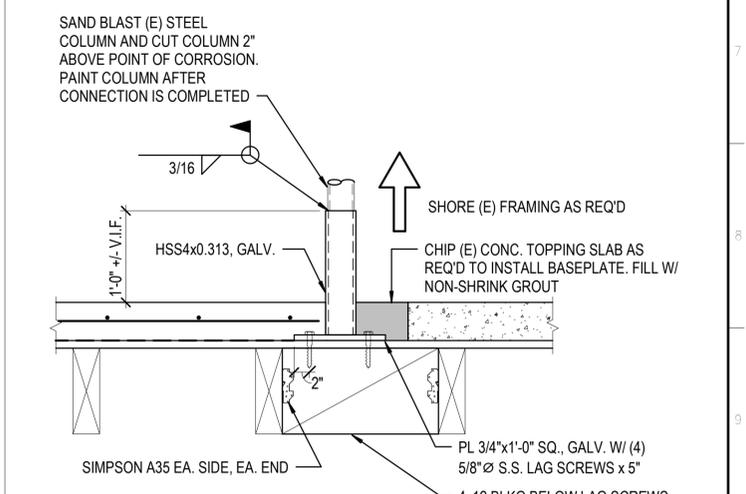
3 GROTTO WALL ELEVATION
S.513-B 1/2" = 1'-0"

- NOTES:
 1. SHORE (E) FRAMING PRIOR TO CUTTING OPENING. SEE ARCH. DWGS FOR OPNG DIMENSION.
 2. REMOVE (E) PLASTER AND DIAGONAL SHEATHING AS REQ'D TO INSTALL NEW PLYWOOD. REPLACE PLASTER IN KIND.

NOTE: ALL DETAILS THIS SHEET TO BE INCLUDED IN BID BASIS, BUT WILL BE PERMITTED UNDER SEPARATE PERMIT



2 REPAIR OF (E) GROTTO TIMBER COLUMN
S.513-B 3/4" = 1'-0"



1 GROTTO COLUMN BASE REPAIR
S.513-B 1" = 1'-0"

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 DATE: 10/9/2025

Signed by: *Matthew J. Jones*
 ACTING CHIEF ENGINEER
 APPROVED FOR BID, SUBJECT TO DEFERRED PERMIT

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)
GROTTO DETAILS - ALTERNATE

CONTRACT NO. 2894
 DRAWING NO. 24003-49-S
 SHEET NO. **S.513-B**
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GENERAL NOTES

- ALL EQUIPMENT AND DEVICES SHOWN SHALL BE NEW UNLESS OTHERWISE NOTED.
- ALL UNDERGROUND CONDUIT CONNECTION SHALL BE MADE WATERTIGHT AND ALL UNDERGROUND CABLE SPLICES SHALL BE MADE WATERPROOF.
- ALL WIRING INSIDE PULL BOXES SHALL BE TAGGED TO IDENTIFY THE CIRCUIT (BOTH PANEL NAME AND CIRCUIT BREAKER NUMBER). EACH BUNDLE OF WIRING RUNNING IN EACH CONDUIT SHALL BE TIE-WRAPPED SO THAT THEY REMAIN IN INDIVIDUAL GROUPINGS.
- MINIMUM SIZE OF CONDUIT SHALL BE 3/4" C, UON. MINIMUM SIZE OF UNDERGROUND CONDUIT SHALL BE 1" C, UON.
- INSTALLATION OF NEW CONDUIT, BOXES, AND OTHER ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- CONDUIT RUNS, CONNECTION BETWEEN DEVICES, ROUTING WHERE SHOWN, ARE DIAGRAMMATIC & INDICATE GENERAL INTENT. DETERMINE EXACT CONDUIT ROUTE IN FIELD.
- ALL ELECTRIC MATERIAL SHALL BE LISTED BY "UL" FOR THE TYPE OF APPLICATION AND "UL" LABEL SHALL APPEAR ON ALL ELECTRICAL EQUIPMENT.
- COMPLY WITH PORT OF SAN FRANCISCO ELECTRICAL CODE (2022 CALIFORNIA ELECTRICAL CODE WITH PORT OF SAN FRANCISCO AMENDMENTS).
- ALL EQUIPMENT INSTALLED EXPOSED TO WEATHER SHALL BE IN NEMA-4X ENCLOSURE.
- ALL CONDUIT INSTALLED EXPOSED TO WEATHER SHALL BE PVC COATED RIGID STEEL CONDUIT. ALL CONNECTIONS SHALL BE MADE WATERTIGHT.
- ALL SURFACE MOUNTED ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROPERLY SECURED TO WALL.
- LABEL EACH NEW ELECTRICAL OUTLETS AND SWITCHES WITH DYMO TAPE. THE TAPE SHOULD SHOW PANEL NAME AND CIRCUIT BREAKER NUMBER FEEDING THE DEVICE.
- ALL JUNCTION BOX COVER PLATES FOR BRANCH CIRCUIT SYSTEM SHALL BE CLEARLY MARKED WITH PERMANENT INK FELT PEN IDENTIFYING THE BRANCH CIRCUIT (BOTH PANEL NAME AND CIRCUIT BREAKER NUMBER) CONTAINED IN THE BOXES.
- PROVIDE PANEL CIRCUIT DIRECTORIES IN ACCORDANCE WITH THE CIRCUITRY. DIRECTORIES SHALL BE TYPEWRITTEN.
- NO PIPING, DUCTS, OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DESIGNATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
- ALL UNISTRUT SUPPORTS, FITTINGS AND ACCESSORIES INSTALLED EXPOSED TO WEATHER AND BELOW DECK SHALL BE STAINLESS STEEL TYPE 316.
- ALL CONSTRUCTION SHALL BE PERFORMED CAREFULLY TO AVOID DAMAGE TO EXISTING SERVICE CONDUIT.

SYMBOL LEGEND

- NEW HOMERUN CONDUIT TO PANELBOARD, SLASH MARKS INDICATE NUMBER OF #12 WIRES, 2#12 & 1#12 GRD IN 3/4" C IF NOT MARKED
- NEW CONDUIT AND WIRING SYSTEM
- CONDUIT - GOING UP, GOING DOWN RESPECTIVELY
- EXISTING UNDERGROUND POWER CONDUIT AND WIRING
- EXISTING PHOTOCELL
- NEW WALL MOUNTED FOURPLEX RECEPTACLE, NEMA 5-20R, 2-20A, 120V, 2P, 3W GROUNDED WITH GROUND FAULT INTERRUPTER, +15" AFG TO THE BOTTOM OF THE DEVICE, UON. "WP" DENOTES TO BE INSTALLED IN WEATHERPROOF 12" X 12" X 6" NEMA-4X ENCLOSURE WITH LOCKABLE HINGED COVER.
- CEILING MOUNTED JUNCTION BOX - EXISTING, NEW RESPECTIVELY
- WALL MOUNTED JUNCTION BOX, SIZE TO SUIT - EXISTING, NEW RESPECTIVELY
- EXISTING PANELBOARD
- SHEET NOTE TAG
- DETAIL OR DIAGRAM TAG

ABBREVIATIONS

- A AMPERE
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- C CONDUIT
- CO CONDUIT ONLY
- CKT CIRCUIT
- (E) EXISTING TO REMAIN
- GFI GROUND FAULT INTERRUPTER
- GRD GROUND
- HP HORSEPOWER
- KVA KILOVOLT AMPERES
- KW KILOWATT
- (N) NEW
- NEC NATIONAL ELECTRICAL CODE
- NRTL NATIONALLY RECOGNIZED TESTING LABORATORY
- PVC POLYVINYL CHLORIDE
- (R) EXISTING TO BE REMOVED
- RSC RIGID STEEL CONDUIT
- TYP TYPICAL
- UL UNDERWRITER LABORATORIES
- UON UNLESS OTHERWISE NOTED
- WP WEATHERPROOF
- XFMR TRANSFORMER

PANEL SCHEDULE FOR (E) PANEL "LA"

LIGHTING LOAD AT 125%		0.8 KVA	SECTION:	1	NEUTRAL BUS:	100%
TOTAL CONNECTED RECEPTACLE LOAD		1.4 KVA	VOLTAGE:	208/120	GROUND BUS:	100%
RECEPT. LOAD FIRST 10 KVA AT 100%		1.4 KVA	SYSTEM:	3 Phase	ISOLATED GND BUS:	NO
REMAINING RECEPT. LOAD AT 50%		0.0 KVA	MAINS:	200	AIC RATING:	22KAIC
MOTOR LOAD AT 125% HIGHEST + REMAINING		0.0 KVA	MTG:	SURFACE	NEMA ENCLOSURE:	1
TOTAL APPLIANCE LOAD AT 100%		0.5 KVA	FEED:	#3/0 PER Ø & NEUTRAL	MAIN BREAKER:	MLO

TYPE	DESCRIPTION	VA	AMPS	P	No.	PH	CKT No.	AMP	P	VA	DESCRIPTION	TYPE
R	REC CABINET EXTERIOR	360	20	1	1	A	2	20	1	6	TIME SWITCH	O
R	REC GUARDRAIL	360	20	1	3	B	4	20	1	105	ELECTRICAL CABINET LTG	L
R	REC GUARDRAIL	360	20	1	5	C	6	20	1	540	CATENARY LTG	L
R	REC GROTTO EXTERIOR	360	20	1	7	A	8	20	1		SPARE	
	SPARE	20	1	1	9	B	10	20	1		SPARE	
	SPARE	20	1	1	11	C	12	20	1		SPARE	
	SPARE	20	1	1	13	A	14	20	1		SPARE	
	SPARE	20	1	1	15	B	16	20	1		SPARE	
	SPARE	20	1	1	17	C	18	20	1		SPARE	
	SPARE	20	1	1	19	A	20	20	1		SPARE	
	SPARE	20	1	1	21	B	22	20	1		SPARE	
	SPARE	20	1	1	23	C	24	20	1		SPARE	
	SPARE	20	1	1	25	A	26	20	1		SPARE	
	SPARE	20	1	1	27	B	28	20	1		SPARE	
O	FIRE ALARM CONTROL UNIT	500	20	1	29	C	30	20	1		SPARE	
	SPARE				31	A	32					
	SPARE				33	B	34	20	3		SPARE	
	SPARE				35	C	36					
	SPARE				37	A	38					
	SPARE				39	B	40	30	3		SPARE	
	SPARE				41	C	42					

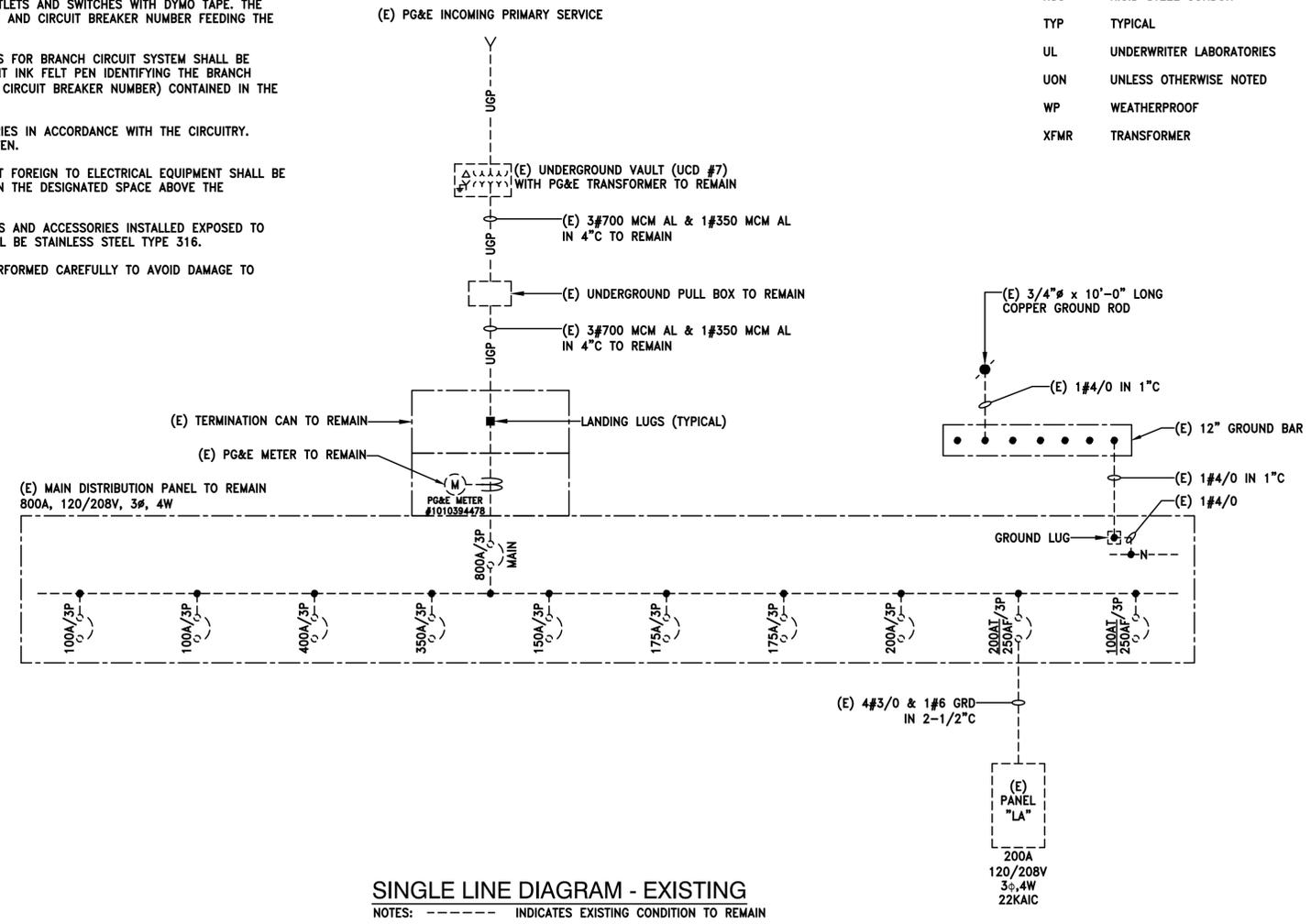
LOAD SUMMARY:						
CONNECTED LOAD - PHASE "A"	0.7 KVA	HIGHEST MOTOR LOAD		VA		
CONNECTED LOAD - PHASE "B"	0.5 KVA					
CONNECTED LOAD - PHASE "C"	1.4 KVA					
CONNECTED LOAD - ALL PHASES	2.6 KVA					
TOTAL DEMAND LOAD	2.8 KVA					
	8 AMPS	(LOAD TYPE: L = LIGHTING, R = RECEPTACLE, M = MOTOR, O = APPLIANCE)				

- 1 EXISTING CIRCUIT TO REMAIN.
- 2 CONNECT NEW LOAD TO SPARE 20A/1P, 120V CIRCUIT BREAKER.

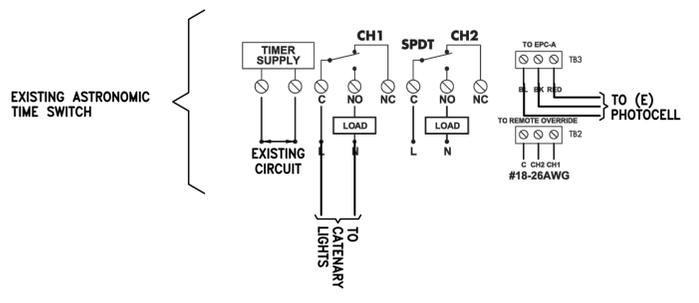
LIGHTING FIXTURE SCHEDULE *

TYPE	DESCRIPTION	LAMPS	VOLTS	MANUFACTURER
F2	10"H X 11-3/4" DIAMETER ROUND LED CATENARY LIGHT FIXTURE. 2129 LUMENS. WET LOCATION. PROVIDE COMPLETE WITH MOUNTING HARDWARE AND ACCESSORIES. PROVIDE POLES WITH HANDHOLE AND BASE, CATENARY CABLES, AND POWER CABLES AS REQUIRED.	20W 4000K CRI 70	120/277	LANDSCAPE FORMS# TML-16-A-2-WF-0-C- XX + TML-03-XX OR APPROVED ALTERNATE

- * 1. CONTRACTOR SHALL VERIFY CATALOG NUMBER WITH FIXTURE DESCRIPTION AND PROVIDE DESCRIBED MODIFICATIONS.
- 2. ALL LED DRIVER AND LAMP SHALL BE CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE APPLIANCE STANDARDS TO MEET TITLE 24 REQUIREMENTS.



SINGLE LINE DIAGRAM - EXISTING
NOTES: - - - - - INDICATES EXISTING CONDITION TO REMAIN



1 TIME SWITCH CONTROL DIAGRAM
E.001-B NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	APP.
		TABLE OF REVISIONS		
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION				

CONSULTANT

F.W. ASSOCIATES, INC.
CONSULTING ENGINEERS

520 3RD STREET, SUITE 206, OAKLAND, CA 94607
PHONE: (510) 763-7475 FAX: (510) 763-7033

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

Date signed: 10/01/2025

DESIGNED: DATE: JL 10/01/2025

APPROVED BY: SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

DRAWN: DATE: FWA 10/01/2025

CHECKED: DATE: MF 10/01/2025

Signed by: ACTING CHIEF HARBOR ENGINEER

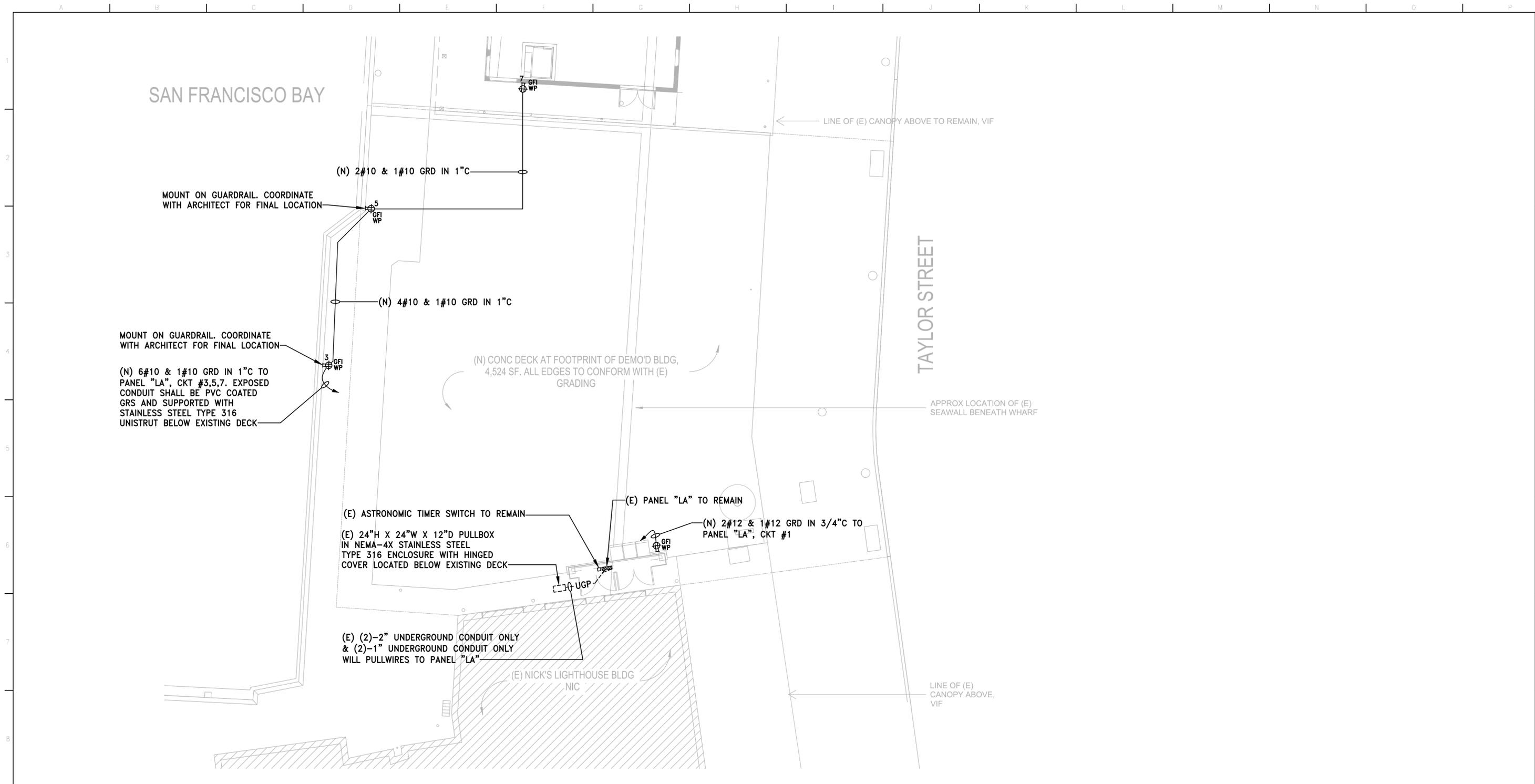
FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

NOTES, LEGEND, ABBREVIATIONS, SINGLE LINE DIAGRAM, PANEL SCHEDULE, LIGHTING FIXTURE SCHEDULE, DETAILS AND DIAGRAMS

CONTRACT NO. 2894

DRAWING NO. 24004-49-E

SHEET NO. **E.001-B** OF



SITE PLAN - ELECTRICAL
SCALE: 1/8"=1'-0"

NO.	DATE	DESCRIPTION	BY	APP.
		TABLE OF REVISIONS		
		CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION		

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ACTING CHIEF HARBOR ENGINEER

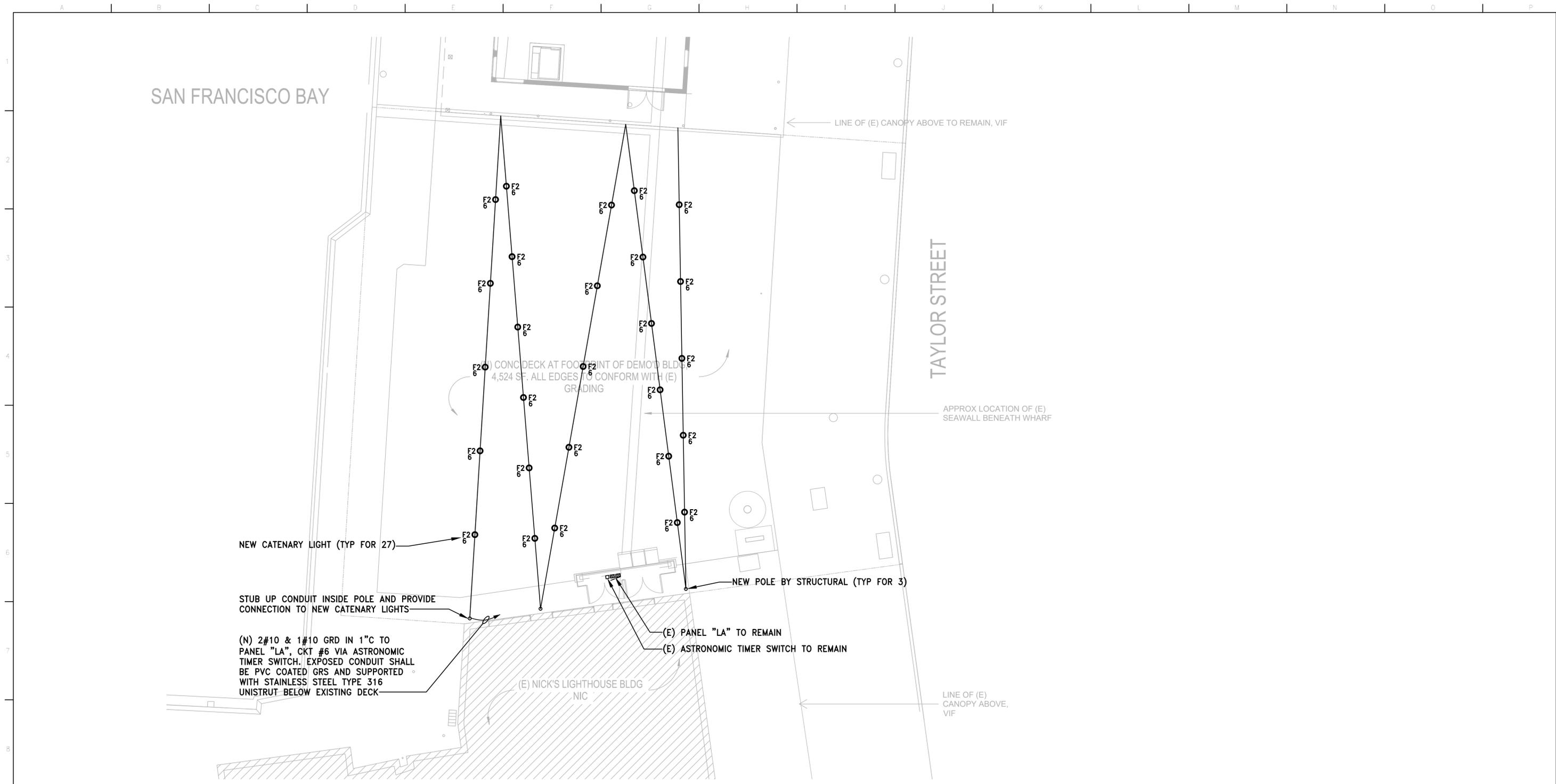
FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN - ELECTRICAL

CONTRACT NO. 2894

DRAWING NO. 24005-49-E

SHEET NO. **E.201-B** OF



SITE PLAN - LIGHTING
SCALE: 1/8"=1'-0"

NO.	DATE	DESCRIPTION	BY	APP.
		TABLE OF REVISIONS		
		CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION		

CONSULTANT



F.W. ASSOCIATES, INC.
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SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING




Date signed: 10/01/2025

DESIGNED: DATE: JL 10/01/2025

DRAWN: DATE: FWA 10/01/2025

CHECKED: DATE: MF 10/01/2025

APPROVED BY: SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

Signed by: 
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

SITE PLAN - LIGHTING

CONTRACT NO. 2894

DRAWING NO. 24006-49-E

SHEET NO. **E.202-B** OF

STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 3 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 3 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

F. OUTDOOR LIGHTING FIXTURE SCHEDULE
For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(a) all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b) only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included). Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

Designed Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ¹	How is Wattage determined	Total Number Luminaires ²	Luminaire Status ³	Excluded per 140.7(a) / 170.2(e)6A	Design Watts	Cutoff Req. -> 6,200 Initial lumen output 130.2(b) / 160.5(c)1-4	Field Inspector
									Pass Fail
F2	LED CATENARY LIGHT <input type="checkbox"/> Linear	20	Mfr. Spec	18	New	<input type="checkbox"/>	360	NA: < 6200 lumens	<input type="checkbox"/> <input type="checkbox"/>
F2	LED CATENARY LIGHTING <input type="checkbox"/> Linear	20	Mfr. Spec	9	New	<input checked="" type="checkbox"/>	---	NA: < 6200 lumens	<input type="checkbox"/> <input type="checkbox"/>
Total Design Watts:							360		

¹ NOTES: Selections with a "T" require a note in the space below explaining how compliance is achieved.
² EX: Luminaire is lighting a statue; EXCEPTION 2 to 130.2(b)
³ FOOTNOTES: Authority Having Jurisdiction may ask for luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b)
⁴ For linear luminaires, wattage should be indicated as W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
⁵ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
⁶ Compliance with mandatory shielding requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by 130.2(b) / 160.5(c)

G. SHIELDING REQUIREMENTS (BUG)
This section does not apply to this project.

Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220101 Compliance ID: 322616-0925-0005 Report Generated: 2025-09-10 11:13:27

STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 5 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 5 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

I. LIGHTING POWER ALLOWANCE (per 140.7 / 170.2(e))
This table includes areas using allowance calculations per 140.7 / 170.2(e). General Hardscape Allowance is per Table 140.7-A/170.2-R while "Use it or lose it" Allowances are per Table 140.7-B/170.2-S. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance. Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

Calculated General Hardscape Lighting Power Allowance per Table 140.7-A for Nonresidential & Hotel/Motel

02	03			04			05			06			07			08			09
	Illuminated Area (ft ²)	Area Wattage Allowance (AWA) (W/ft ²)	Allowed Density (Watts)	Perimeter Length (ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	Perimeter Length (ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	Perimeter Length (ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	Perimeter Length (ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	Perimeter Length (ft)	Allowed Density (W/ft)	Linear Allowance (Watts)	
PLAZA	6100	0.021	128.1	315	0.2	63													191.1
Initial Wattage Allowance for Entire Site (Watts):																	250		
Instances of Initial Wattage Allowance (L2 0 only)¹																			
Total General Hardscape Allowance (Watts):																	441.1		

J. LIGHTING ALLOWANCE: PER APPLICATION
This section does not apply to this project.

K. LIGHTING ALLOWANCE: SALES FRONTAGE
This section does not apply to this project.

L. LIGHTING ALLOWANCE: ORNAMENTAL
This section does not apply to this project.

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STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 7 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 7 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/attcp/providers.html>

Form/Title: Systems/Spaces To Be Field Verified

NRCC-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires. PLAZA-"F2"

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STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 4 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 4 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

H. OUTDOOR LIGHTING CONTROLS
This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application. Outdoor lighting for nonresidential buildings, parking garages and common service areas in multifamily buildings must be documented separately from outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit.

Mandatory Controls for Nonresidential Occupancies, Parking Garages & Common Areas in Multifamily Buildings

01	02	03	04	05	
Area Description	Shut-Off 130.2(c)1 / 160.5(c)	Auto-Schedule 130.2(c)2 / 160.5(c)	Motion Sensor 130.2(c)3 / 160.5(c)	Field Inspector	
				Pass	Fail
PLAZA: "F2"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	<input type="checkbox"/>	<input type="checkbox"/>

¹ FOOTNOTE: Text has been abbreviated, please refer to Table 160.5-A to confirm compliance with the specific light source technologies listed.
² Authority having jurisdiction may ask for cutsheets or other documentation to confirm compliance of light source.
³ Recessed luminaires marked for use in fire-rated installations, and recessed luminaires installed in non-insulated ceilings are excepted from ii and iii.

Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220101 Compliance ID: 322616-0925-0005 Report Generated: 2025-09-10 11:13:27

STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 6 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 6 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
This table includes areas using the wattage allowance per specific area from Table 140.7-B / Table 170.2-S. More than one specific area allowance may be taken in a single project, if applicable. However, multiple specific area allowances may not be taken for the exact same area on the site.

01	02	03			04			05			06	07	08	09	10
		Specific Area Type per Table 140.7-B	Specific Area (ft ²) ¹	Allowed Density (W/ft ²)	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	# of Luminaires	Design Watts	Additional Allowance (Watts)					
PLAZA	OutdoorDining	1350	0.05	67.5	F2	20	10	200	67.5						
Total Design Watts for this Area:											200				
Total Allowance (Watts) All Areas:											67.5				

¹ FOOTNOTES: See Table 140.7-B / Table 170.2-S for rules for calculating the specific areas (ft²) for these additional lighting allowances.
² For luminaires indicated in Table F as linear, wattage in column 07 is W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 08 instead of number of luminaires.

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)
This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title: NRCC-LTO-E - Must be submitted for all buildings

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220101 Compliance ID: 322616-0925-0005 Report Generated: 2025-09-10 11:13:27

STATE OF CALIFORNIA
Outdoor Lighting
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
(Page 8 of 8)

Project Name: Fisherman's Wharf Forward - Taylor St Plaza (Package B) Report Page: (Page 8 of 8)
Date Prepared: 2025-09-10T14:13:23-04:00

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jonathan Lei
Signature Date: September 10, 2025
Address: 520 3rd Street, Suite #206
City/State/Zip: Oakland, CA 94607
Phone: 510-763-7475

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Edward Wong
Signature Date: September 10, 2025
Address: 520 3rd Street, Suite #206
City/State/Zip: Oakland, CA 94607
Phone: 510-763-7475

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220101 Compliance ID: 322616-0925-0005 Report Generated: 2025-09-10 11:13:27

NO.	DATE	DESCRIPTION	BY	APP.
		100% INTERDIVISIONAL REVIEW REV #1		
		100% INTERDIVISIONAL REVIEW		
		65% INTERDIVISIONAL REVIEW		
		10% INTERDIVISIONAL REVIEW		

TABLE OF REVISIONS
CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION

CONSULTANT



F.W. ASSOCIATES, INC.
CONSULTING ENGINEERS

520 3RD STREET, SUITE 206, OAKLAND, CA 94607
PHONE: (510) 763-7475 FAX: (510) 763-7033

SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING




DESIGNED: DATE: JL 10/01/2025
DRAWN: DATE: FWA 10/01/2025
CHECKED: DATE: MF 10/01/2025

Date signed: 10/01/2025

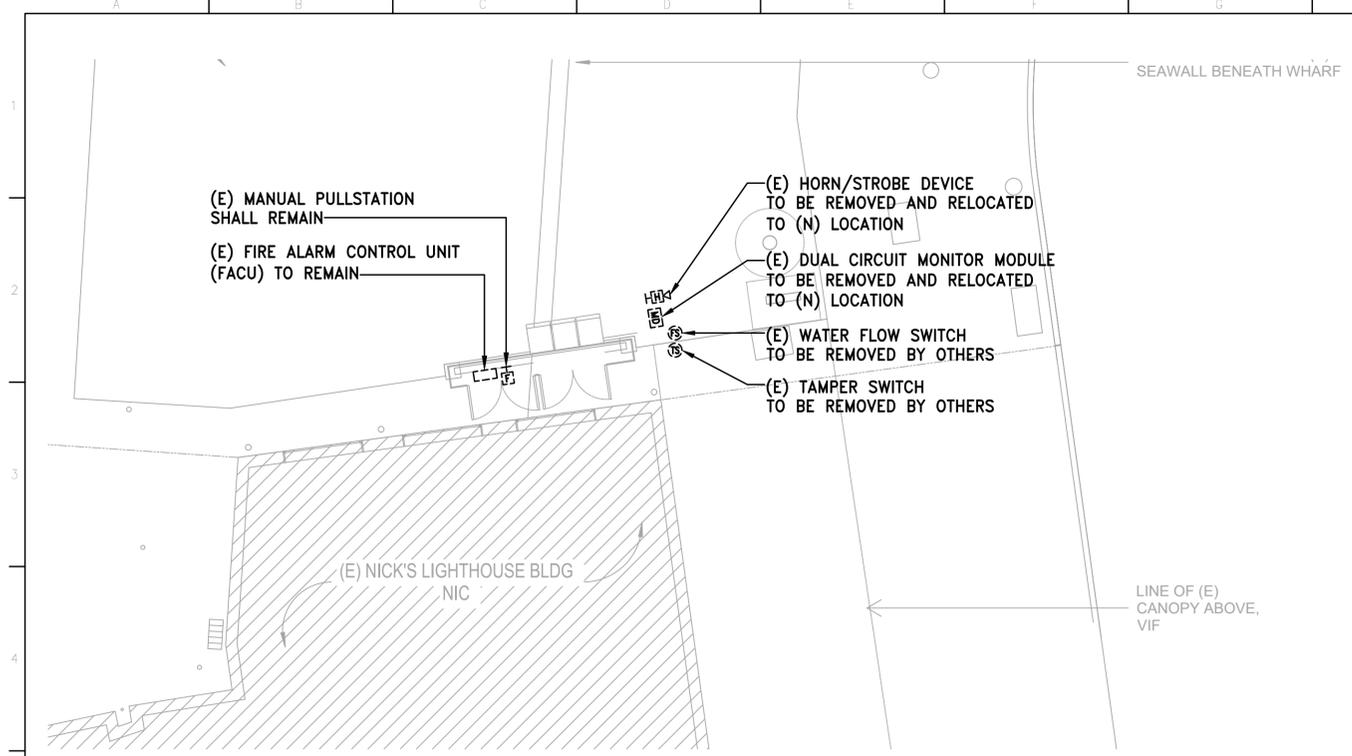
APPROVED BY: SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025

Signed by: 
ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

TITLE 24 - NRCC-LTO-E

CONTRACT NO. 2894
DRAWING NO. 24008-49-E
SHEET NO. **E.302-B** OF

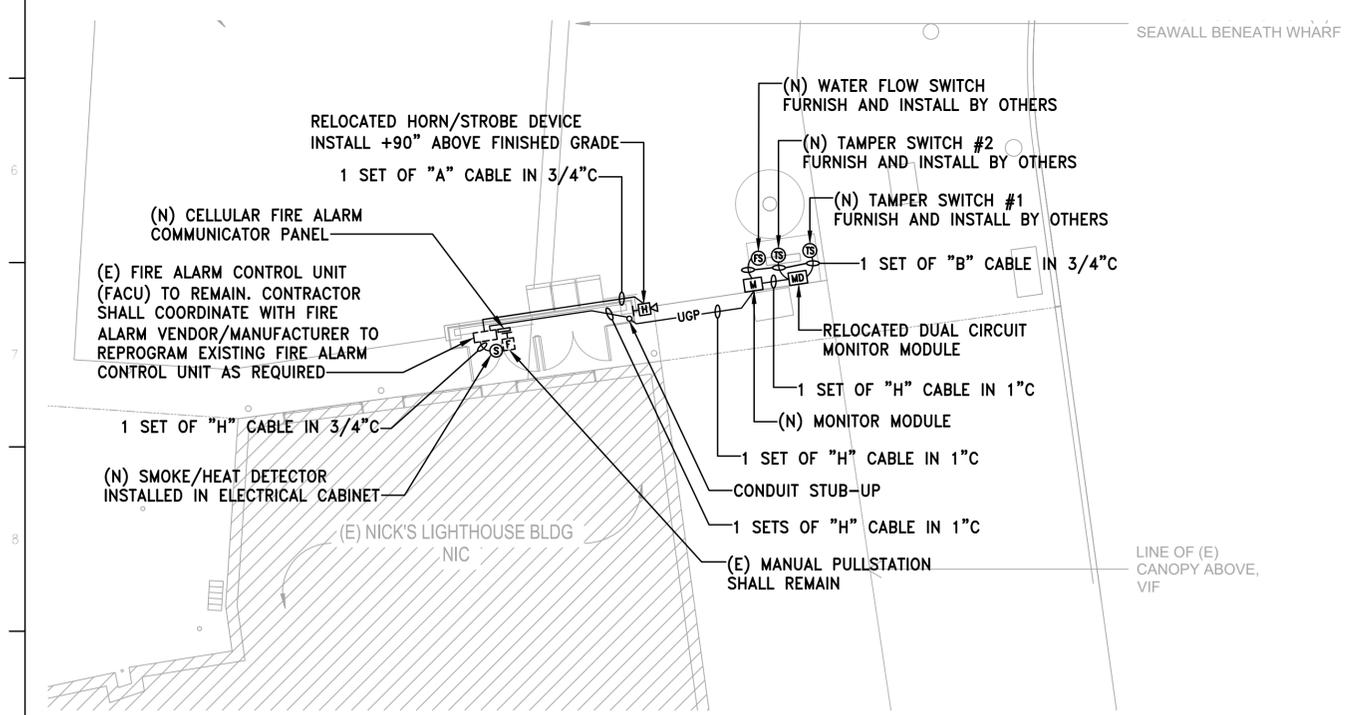


PARTIAL SITE PLAN - FIRE ALARM SYSTEM DEMOLITION
SCALE: 1/8"=1'-0"

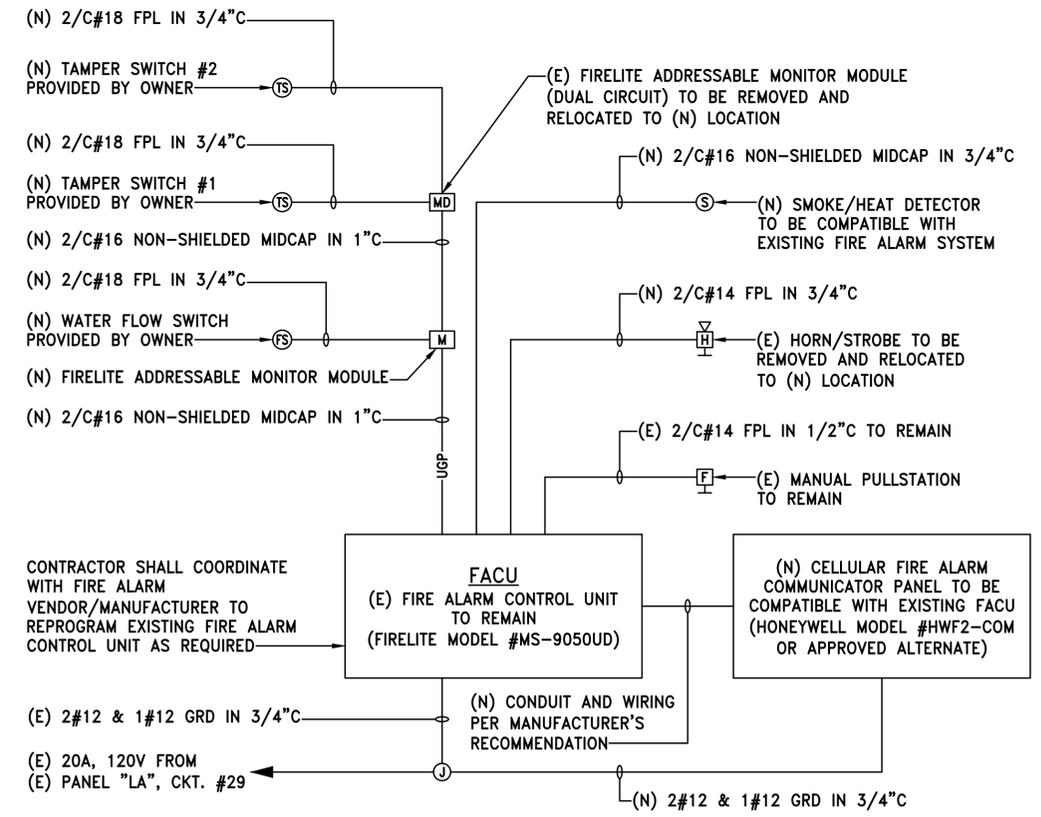
FIRE ALARM WIRE LEGEND		
DESIGNATOR	DESCRIPTION	MANUFACTURER'S CODE
A	14-2 FPL	CONTRACTORS FPL1140
B	18-2 FPL	CONTRACTORS FPL1120
H	16-2 NON-SHIELD MIDCAP	CONTRACTORS FPL1130MC

INSULATION RATING OF ALL CABLES = 600V
ALL CONDUCTORS ARE SOLID AND UN-TINNED

FIRE ALARM SYSTEM LEGEND				
SYMBOL	DESCRIPTION	MODEL #	CSFM LISTING #	BACKBOX
[FACU]	FIRE-LITE FIRE ALARM CONTROL UNIT WITH DACT (50 POINT)	MS-9050UD	7165-0075:210	INCLUDED
[S]	FIRE-LITE ADDRESSABLE HEAT DETECTOR 135 DEGREE FIXED TEMP	H355	7270-0075:195	4" SQUARE/DOUBLE GANG
[F]	FIRE-LITE ADDRESSABLE MANUAL FIRE ALARM BOX	BG-12LX	7150-0075:184	SB-1/0
[M]	FIRE-LITE ADDRESSABLE MONITOR MODULE	MMF-300	7300-0075:185	4" SQUARE/DOUBLE GANG
[MD]	FIRE-LITE ADDRESSABLE MONITOR MODULE (DUAL CIRCUIT)	MDF-300	7300-0075:185	4" SQUARE/DOUBLE GANG
[H]	WHEELOCK 24V WEATHERPROOF HORN/STORBE 75CD (UL 1638) / MED	ASWP-2475W-FR	7125-0785:131	WPBB-R
[FS]	WATERFLOW SWITCH (BY OTHERS)	FLOW	INSTALLED BY OTHERS	N/A
[TS]	OS&Y TAMPER SWITCH (BY OTHERS)	OSY	INSTALLED BY OTHERS	N/A



PARTIAL SITE PLAN - FIRE ALARM SYSTEM
SCALE: 1/8"=1'-0"



FIRE ALARM SYSTEM RISER DIAGRAM

NO.	DATE	DESCRIPTION	BY	APP.
		TABLE OF REVISIONS		
		CHECK WITH TRACING TO SEE IF YOU HAVE LATEST REVISION		

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SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING

Date signed: 10/01/2025

DESIGNED: DATE: JL 10/01/2025

DRAWN: DATE: FWA 10/01/2025

CHECKED: DATE: MF 10/01/2025

APPROVED BY: SAN FRANCISCO PORT COMMISSION

DATE: 10/9/2025

Signed by:

ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR STREET PUBLIC PLAZA (PACKAGE B)

FIRE ALARM SYSTEM

CONTRACT NO. 2894

DRAWING NO. 24008.1-49-E

SHEET NO. **E.401-B**

OF

LEGEND

- ⊖ SHEET NOTE TAG
- CW — DOMESTIC COLD WATER
- (E) — EXISTING LINE
- + HB HOSE BIBB

APPLICABLE CODES

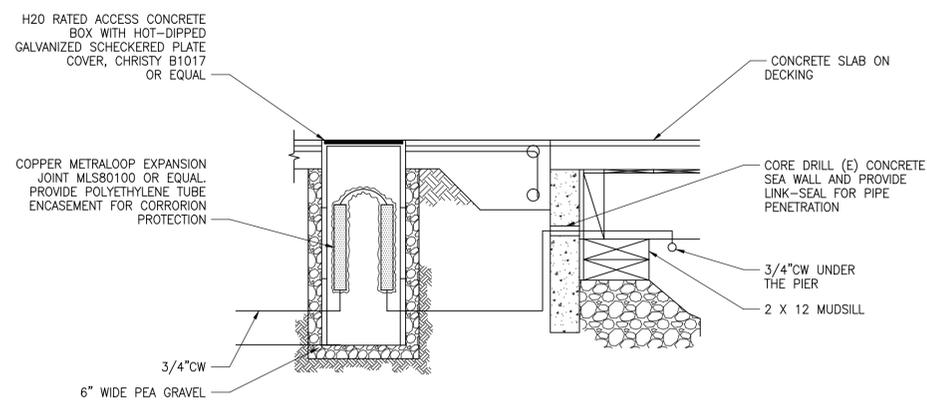
- CALIFORNIA BUILDING CODES WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022 EDITION.
- CALIFORNIA PLUMBING CODE WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022.
- SAN FRANCISCO ADMINISTRATIVE BULLETINS, LATEST EDITION.

GENERAL NOTES

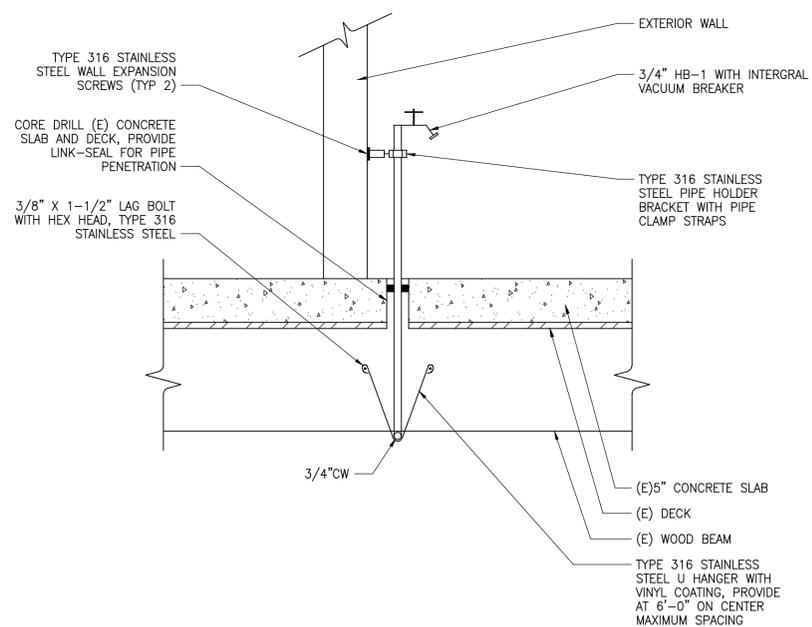
- A. ABANDONED MECHANICAL, PLUMBING AND FIRE PROTECTION SYSTEMS SHALL BE DEMOLISHED ENTIRELY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SURVEY EXISTING SYSTEMS AND SUBMIT DEMOLITION PLAN FOR REVIEW PRIOR TO DEMOTION.
- B. CAPPING OF (E) PLUMBING LINES THAT ARE TO REMAIN SHALL BE IN ACCORDANCE WITH CPC 2022 REQUIREMENTS AND SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- C. (E) SYSTEM SERVING ADJACENT PROPERTIES SHALL BE PRESERVED. PROTECT (E) SYSTEMS THAT ARE NOT BEING DEMOLISHED, AND ADJACENT PROPERTIES FROM DAMAGE DURING DEMOLITION WORK.

SHEET NOTES

- ① (E) PIPE(E) TO REMAIN.
- ② REMOVE AND DISPOSE DECK DRAINS THAT DAYLIGHTS DIRECTLY TO THE BAY INCLUDING RELATED PIPING.
- ③ (E) WATER METER IN CONCRETE SIDEWALK METER BOX TO REMAIN.
- ④ POINT OF CONNECTION (N) WORK TO (E) WORK. FIELD VERIFY EXACT LOCATION OF (E) WORK PRIOR TO INSTALLATION WORK.
- ⑤ PIPE UNDER THE WHARF.
- ⑥ PIPE BELOW GRADE.
- ⑦ CORE DRILL (E) CONCRETE SEA WALL.
- ⑧ 1" COPPER METRALOOP EXPANSION JOINT MODEL MLS80100 WITH A CONCRETE ACCESS BOX WITH H2O RATED STEEL FRAME & COVER. REFER TO DETAIL 2/P.201-B.
- ⑨ 3/4" HB-1, REFER TO DETAIL 3/P.202-B.



2 PIPE SETTLEMENT DETAIL
SCALE: NTS

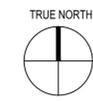
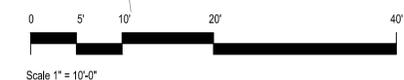


3 HOSE BIBB DETAIL
SCALE: NTS

SAN FRANCISCO BAY



1 SITE PLAN - PACKAGE B
SCALE: 1" = 10'-0"



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06/27/2025		10% INTERDIVISIONAL REVIEW		

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SAN FRANCISCO PORT COMMISSION
PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING




DESIGNED: DATE: _____
APPROVED BY: SAN FRANCISCO PORT COMMISSION
DATE: 10/9/2025
DRAWN: DATE: _____
CHECKED: DATE: 07.18.25
NHJ

Signed by: *Matthew J. Johnson*
ACTING CHIEF HARBOR ENGINEER

Date signed: 10/01/2025

FISHERMAN'S WHARF FORWARD - TAYLOR ST.
PUBLIC PLAZA (PACKAGE B)

SITE PLAN
PLUMBING

CONTRACT NO. 2894
DRAWING NO. 24009-49-P
SHEET NO. **P.201-B**
OF

LEGEND		
ABBREVIATION	DESCRIPTION	DESCRIPTION
		SECTION REFERENCE } SECTION TAG DRAWING NUMBER
		DETAIL NUMBER } DETAIL TAG DRAWING NUMBER
		EQUIPMENT TYPE } EQUIPMENT TAG EQUIPMENT NUMBER
		RISER TYPE } RISER TAG RISER NUMBER
		SHEET NOTE TAG
	POC	POINT OF CONNECTION
		PIPE RISER/PIPE UP
		PIPE DROP/PIPE DOWN
		BRANCH TOP PIPE CONNECTION
		BRANCH BOTTOM PIPE CONNECTION
		PIPE CAPPED
		LINE CONTINUED
		PIPING OF TYPE INDICATED BELOW FLOOR OR BELOW GRADE
		PIPING OF TYPE INDICATED ABOVE FLOOR OR ABOVE CEILING
	F	FIRE PROTECTION WATER SUPPLY
	SPR	FIRE SPRINKLER PIPING
	ASD	AUTOMATIC SPRINKLER/STANDPIPE MAIN
	PA	PIPE ANCHOR
	PG	PRESSURE GAUGE WITH PET COCK
	SOV	SHUT-OFF VALVE
	SOVR	SHUT-OFF VALVE RISER
	CV	CHECK VALVE
	FS	FLOW SWITCH
	FDC	FIRE DEPARTMENT CONNECTION
	FH	FIRE HYDRANT

GENERAL NOTES	
A.	PROVIDE A COMPLETE REPLACEMENT OF THE (E) WHARF SUBSTRUCTURE FIRE SPRINKLERS. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE NFPA CODES AND STANDARDS INCLUDING ALL SUPPLEMENTS AND AMENDMENTS. IF THERE'S CONFLICT AND/OR DISCREPANCIES WITH THE REQUIREMENTS THE MOST STRINGENT REQUIREMENTS APPLY.
B.	CONTRACTOR SUBMIT AND OBTAIN APPROVAL FROM PORT FOR THE FIRE PROTECTION SYSTEMS.
C.	THE FIRE PROTECTION SYSTEM(S) SHALL BE AWARDED AS "DESIGN-BUILD". IT IS THE RESPONSIBILITY OF THE CONTRACTOR AS THE DESIGN BUILD ENGINEER TO VERIFY ALL CONDITIONS SHOWN WITH THE FIRE MARSHAL AND TO DESIGN CODE COMPLIANT.
D.	ALL FIRE SPRINKLER WORK SHALL BE PERFORMED BY A LICENSED FIRE PROTECTION CONTRACTOR WITH A CURRENT STATE OF CALIFORNIA C-16 LICENSE.
E.	INSTALLATION OF THE FIRE PROTECTION SYSTEM SHALL NOT BE STARTED UNTIL COMPLETE PLANS AND CALCULATIONS (INCLUDING WATER SUPPLY INFORMATION) HAVE BEEN APPROVED BY PORT OF SAN FRANCISCO FIRE MARSHAL'S OFFICE. AT VARIOUS STAGES AND UPON COMPLETION, THE SYSTEM SHALL BE TESTED IN THE PRESENCE OF THE ENFORCING AUTHORITY.
F.	PROVIDE OFFSETS IN PIPING AS NECESSARY, WHETHER SHOWN ON THE DRAWINGS OR NOT, TO CLEAR STRUCTURAL ELEMENTS AND TO FACILITATE NEAT AND UNOBTRUSIVE INSTALLATIONS IN THESE SPACES. MAINTAIN CODE REQUIRED CLEARANCES.
G.	PIPE LAYOUTS ARE SHOWN AS CONCEPT ONLY, COORDINATE EXACT LAYOUTS WITH EXISTING STRUCTURE, PIPES, ELECTRICAL CONDUITS, AND OTHER EXISTING SYSTEMS.
H.	FIRE SPRINKLER PIPES AND FITTINGS INCLUDING PIPE SUPPORTS SEISMIC BRACINGS AND NUTS/BOLTS SHALL BE TYPE 316 STAINLESS STEEL.
I.	FURNISH AND INSTALL ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.
J.	KEEP FIRE LINES AS HIGH AS POSSIBLE TO STRUCTURE ABOVE AND OFFSET PIPING AS REQUIRED.
K.	FOR ANY CONFLICT IN THE DRAWINGS AND/OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL APPLY. ANY SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION OF SUCH ITEMS.
L.	THE FIRE PROTECTION SCOPE OF WORK SHOWN ON THIS DRAWINGS IS FOR BID PURPOSES ONLY. THE FIRE PROTECTION SYSTEM IS A DEFERRED SUBMITTAL, THE FIRE SPRINKLER CONTRACTOR SHALL PROVIDE DETAILED FIRE SPRINKLER SHOP DRAWINGS AND HYDRAULIC CALCULATIONS IN ACCORDANCE WITH THE SPECIFICATIONS, NFPA 307, NFPA 13, SFFD ADMINISTRATIVE BULLETINS AND PORT OF SAN FRANCISCO FIRE MARSHAL REQUIREMENTS.
M.	C-16 LICENSED CONTRACTOR SHALL PREPARE AND SUBMIT FULL SHOP DRAWINGS AND HYDRAULIC CALCULATIONS PER NFPA 13 CHAPTER 28 AND SFFD AB2.04. CONTRACTOR SHALL SUBMIT PLANS AND CALCULATIONS UNDER A PORT OF SAN FRANCISCO BUILDING PERMIT, AND SHALL OBTAIN RELEVANT PLUMBING AND ELECTRICAL TRADE PERMIT FROM SF DBI.
N.	PERSONS PERFORMING WORK ON AUTOMATIC FIRE EXTINGUISHING SYSTEMS SHALL BE IN POSSESSION OF THE APPLICABLE CERTIFICATION OR REGISTRATION CARD. (PER CCR, TITLE 19, DIV. 1, CHAPTER 5.5, SEE 940-948 & HEALTH AND SAFETY CODE SECTION 13110).

DRAWING INDEX		
DRAWING NO.	DRAWING TITLE	SCALE
F.001-B	LEGEND, GENERAL NOTES AND DRAWING INDEX - FIRE PROTECTION	NONE
F.100-B	WHARF SUBSTRUCTURE - DEMOLITION - FIRE PROTECTION	1" = 10'=0"
F.200-B	WHARF SUBSTRUCTURE - FIRE PROTECTION	1" = 10'=0"
F.201-B	SITE PLAN - FIRE PROTECTION	1" = 10'=0"
P.201-B	SITE PLAN - PLUMBING	1" = 10'=0"

CODES AND STANDARDS	
THE FIRE PROTECTION SYSTEMS SHALL CONFORM WITH THE FOLLOWING CODES AND STANDARDS:	
<ul style="list-style-type: none"> CALIFORNIA BUILDING CODE WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022 EDITION. CALIFORNIA FIRE CODE WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022 EDITION. CALIFORNIA PLUMBING CODE WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022 EDITION. CALIFORNIA ELECTRICAL CODE WITH PORT OF SAN FRANCISCO AMENDMENTS, 2022 EDITION. NFPA 307, 2022 EDITION. NFPA 13, 2022 EDITION. NFPA 25, STANDARD FOR THE INSPECTION, TESTING AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS, 2022 EDITION. NFPA 72, NATIONAL FIRE ALARM CODE, 2022 EDITION. ANSI/ASME STANDARD A17.1, LATEST EDITION: SAFETY CODE FOR ELEVATORS AND ESCALATORS. SF ADMINISTRATIVE BULLETINS, LATEST EDITIONS. 	

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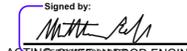


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PORT OF SAN FRANCISCO
DEPARTMENT OF ENGINEERING




Date signed: 10/01/2025

DESIGNED: DATE:	APPROVED BY: SAN FRANCISCO PORT COMMISSION
DRAWN: DATE:	DATE: 10/9/2025
CHECKED: DATE: NHJ 07.18.25	Signed by:  ACTING CHIEF HARBOR ENGINEER

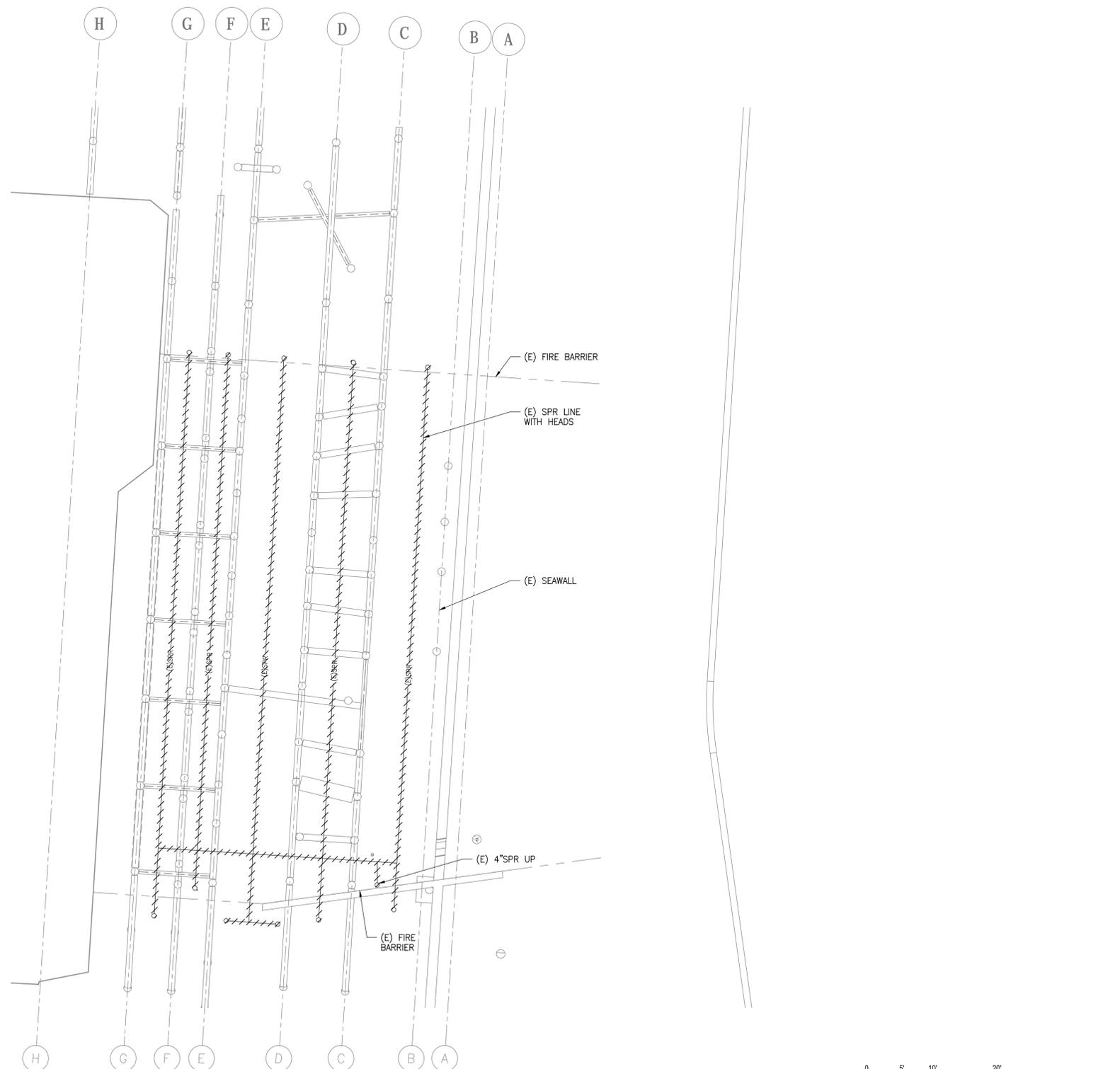
FISHERMAN'S WHARF FORWARD - TAYLOR ST. PUBLIC PLAZA (PACKAGE B)

LEGEND, GENERAL NOTES, DRAWING INDEX & CODES - FIRE PROTECTION

CONTRACT NO. 2894
DRAWING NO. 24010-49-F
SHEET NO. F.001-B OF

GENERAL NOTES

- A. REMOVE AND DISPOSE (E) FIRE SPRINKLER SYSTEM UNDER THE WHARF IN ITS ENTIRETY INCLUDING PIPE SUPPORTS, SEISMIC BRACINGS AND RELATED APPURTENANCES.
- B. (E) PIPES ARE RUSTED GALVANIZED STEEL PIPE SCHEDULE 40 WITH THREADED FITTINGS.



1 SITE PLAN - PACKAGE B
SCALE: 1" = 10'-0"



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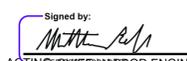
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NHJ 07.18.25

Signed by: 
ACTIVE REGISTERED HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR ST.
PUBLIC PLAZA (PACKAGE B)

WHARF SUBSTRUCTURE - DEMOLITION
FIRE PROTECTION

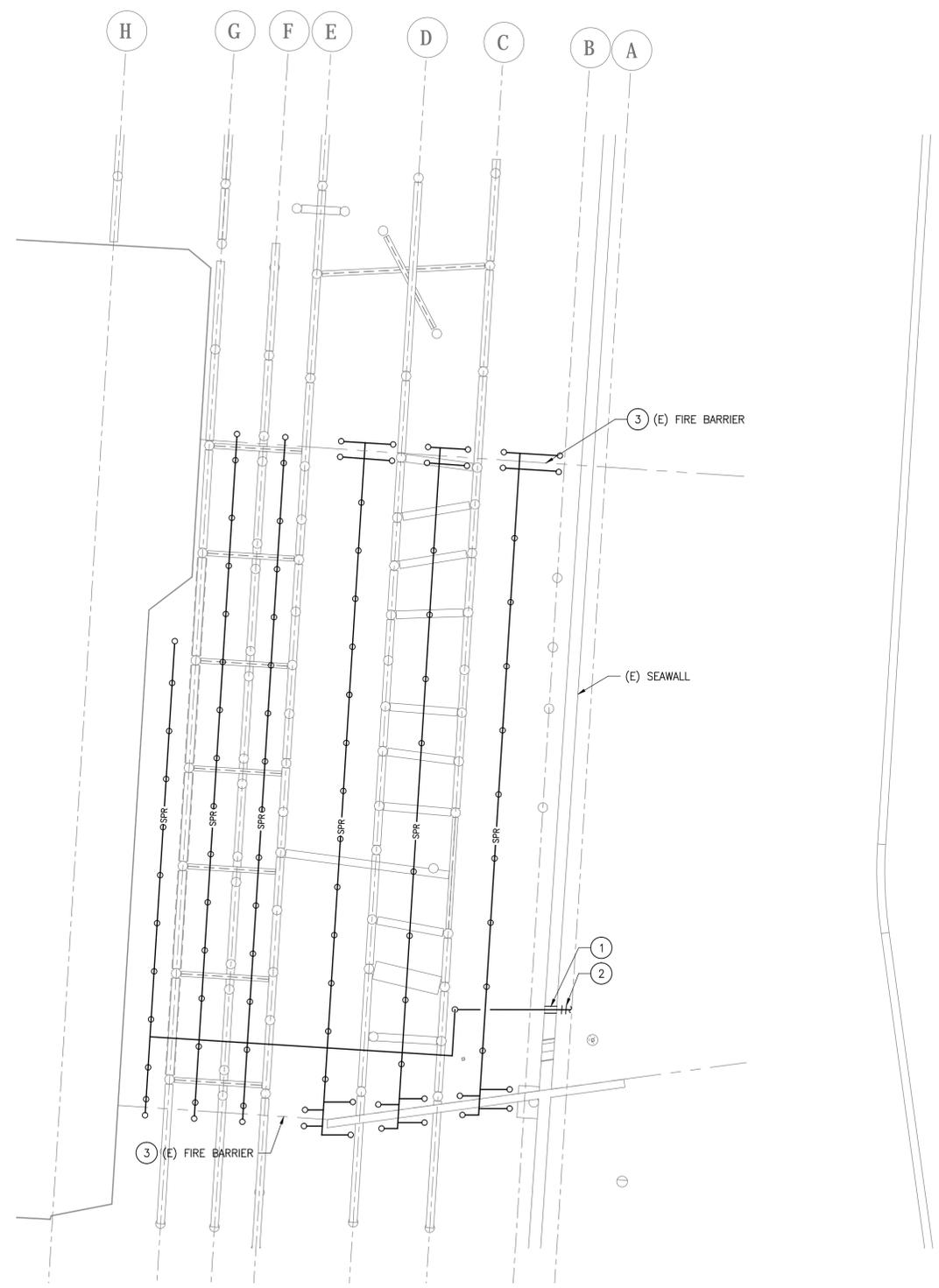
CONTRACT NO. 2894
DRAWING NO. 24011-49-F
SHEET NO. **F.100-B**
OF

GENERAL NOTES

- A. PROVIDE FIRE SPRINKLER SYSTEM FOR THE WHARF UNDERDECK AREAS IN ACCORDANCE WITH NFPA 307, NFPA 13, AND THE SF PORT'S FIRE MARSHAL REQUIREMENTS.
- B. SPRINKLER LAYOUTS SHALL BE IN ACCORDANCE WITH NFPA 307, 4.3.3.1.2 REQUIREMENTS.
- C. FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF FIRE SPRINKLER HEADS, BRANCH LINES, PIPE SIZES PIPE SUPPORTS AND SEISMIC BRACINGS. PROVIDE ADDITIONAL SPRINKLER HEADS AS REQUIRED TO BE CODE COMPLIANT NO ADDITIONAL COST TO THE PORT

SHEET NOTES

- ① CORE DRILL (E) CONCRETE SEAWALL AND SEAL PENETRATION WITH LINE-SEAL.
- ② TRANSITION FROM DUCTILE IRON TO TYPE 316 STAINLESS STEEL PIPE.
- ③ PROVIDE UPRIGHT FIRE SPRINKLER HEADS AT 6'-0" O.C. AND 12" MAXIMUM FROM THE FIRE BARRIER ON BOTH SIDES. THE MINIMUM REQUIRED FLOW SHALL BE 3 GPM/FT OF FIRE BARRIER WALL LENGTH.



1 SITE PLAN - PACKAGE B
SCALE: 1" = 10'-0"

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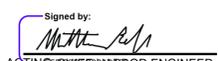
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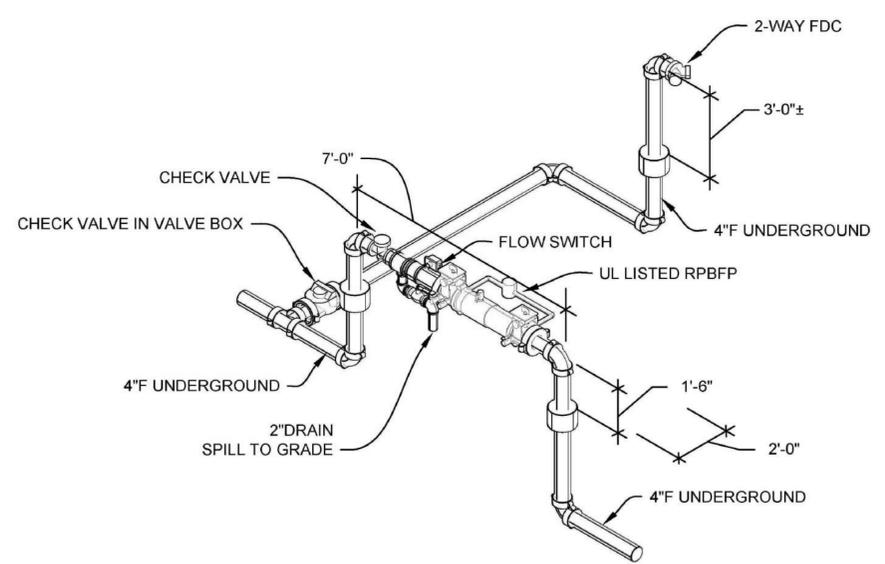
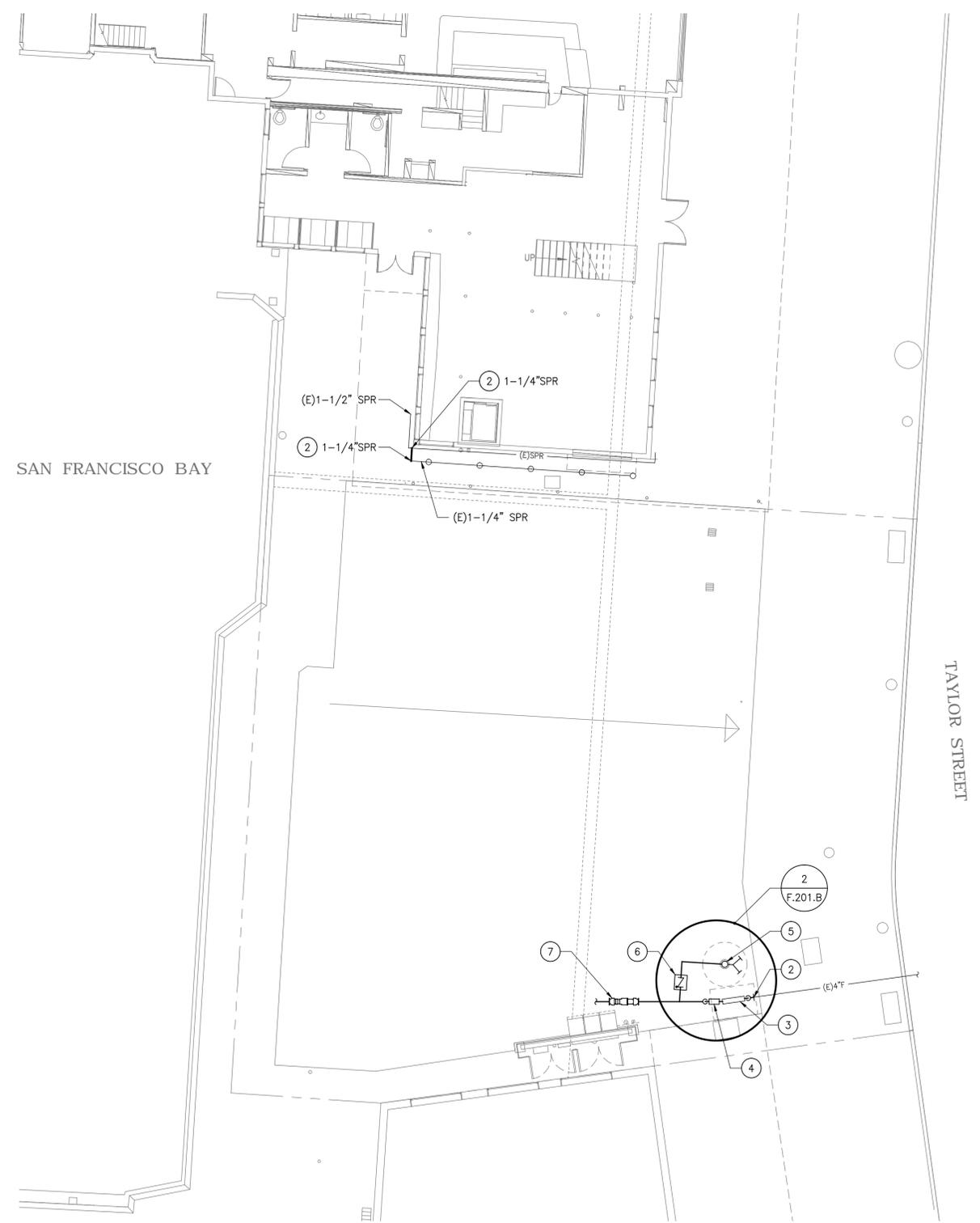
FISHERMAN'S WHARF FORWARD - TAYLOR ST.
PUBLIC PLAZA (PACKAGE B)

WHARF SUBSTRUCTURE
FIRE PROTECTION

CONTRACT NO. 2894
DRAWING NO. 24012-49-F
SHEET NO. **F.200-B**
OF

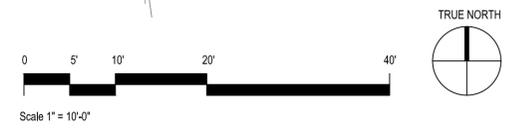
SHEET NOTES

- 1 (E) PIPE(E) TO REMAIN.
- 2 POINT OF CONNECTION (N) WORK TO (E) WORK. FIELD VERIFY EXACT LOCATION OF (E) WORK PRIOR TO INSTALLATION WORK.
- 3 4" REDUCED PRESSURE BACKFLOW DETECTOR ASSEMBLY ABOVE DECK.
- 4 FIRE SPRINKLER CONTROL VALVE ASSEMBLY ABOVE DECK.
- 5 FREE STANDING FDC.
- 6 4" CHECK VALVE IN CONCRETE VALVE BOX.
- 7 DIRECT-BURY PIPE SETTLEMENT JOINT.



2 FIRE MAIN ISOMETRIC DIAGRAM
SCALE: NOT TO SCALE

1 SITE PLAN - PACKAGE B
SCALE: 1" = 10'-0"



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ACTING CHIEF HARBOR ENGINEER

FISHERMAN'S WHARF FORWARD - TAYLOR ST.
PUBLIC PLAZA (PACKAGE B)

SITE PLAN
FIRE PROTECTION

CONTRACT NO.
2894

DRAWING NO.
24013-49-F

SHEET NO.
F.201-B
OF